

De La Guerra Mixed Use Project

113-117 West De La Guerra St.
Santa Barbara, CA 93101



GENERAL NOTES

1. Architect makes no warranty, either express or implied, as to his findings, recommendations, specifications, or professional advice or services except that they were promulgated or rendered in accordance with generally accepted architectural practices and under the direction of professional registered architects. As instruments of service, the architect's drawings and specifications are not 100% complete of themselves, and architect's continued services and construction administration/observation are required for complete interpretation and application to a specific project. Owner and contractor hereby acknowledge use of the drawings and/or specifications without architect's involvement in construction administration/observation, and prior approval of all changes and/or modifications shall thereby relieve architect of all liability associated with changes or modifications to the project made during the construction process. Owner and contractor hereby further warrants that architect shall not be held responsible for the subsequent use of the drawings and/or specifications or advice of others during construction work which was not performed under architect's scope of administrative services.
 2. Interpretation of drawings and documents: each contractor shall check and verify all dimensions and conditions at the project site before executing any work and shall notify the owner and the architect of any discrepancies before proceeding. The architect shall be notified of any unusual or unforeseen conditions or situations which may affect the structural integrity or safety of the project.
 3. Adherence to plans: strict adherence to the construction documents must be maintained. No changes shall be made in the project which deviate from the plans and specifications without the written consent of the owner. No structural changes shall be made without the written consent of the architect.
 4. Working drawing: figured dimensions and detailed drawings shall be followed in preference to scale measurements. In case of any doubt on the part of the contractor as to the exact meaning of the drawings and these specifications, he shall apply to the architect for an interpretation before proceeding with his work.
 5. Shop drawings: contractor shall submit copies of all shop drawings for review by architect prior to contractor's approval for construction.
 6. The contractor shall provide all shoring and bracing required to protect personnel and adjacent property and to insure safety of the project work.
 7. Wherever in these drawings any material or process is indicated, it is for the purpose of facilitating description of the material or process desired. The contractor may offer any material or process which shall be deemed equivalent by the engineer and the architect to that material or process indicated or specified.
 8. Unless otherwise specified, all materials shall be new and both workmanship and materials shall be the best of their respective kinds. The contractor shall, if required, furnish satisfactory evidence as the kind and quality of materials.
 9. It shall be the duty of the general contractor to see that all sub-contractors are fully informed in regard to the general conditions and preliminary specifications.
- ### PERMITS AND REGULATIONS
1. Each contractor shall pay for and obtain all permits required by local authorities before proceeding with his respective installation and shall arrange and pay for any inspections and examinations required by those authorities.
 2. All workmanship and materials shall conform to the current edition of the codes, and laws, ordinances and regulations of all governmental bodies with jurisdiction over the project.
 3. If the drawings and specifications are at variance with any federal, state and local or municipal law, ordinance, rules or departmental regulations, the contractor shall notify the architect in writing before proceeding with that work. If any of the contractor's work shall be done contrary thereto without such notice he shall bear all cost arising therefrom.
- ### PROTECTION OF WORK & PROPERTY
1. The contractor shall be responsible for all violations of city ordinances and state laws involved in the performance of his work. He shall provide, during the progress of his work, every and all safeguards and protection against accidents, injury and damage to persons and property including adjoining property. The contractor shall be responsible for his work and every part thereof, and for all materials, tools, appliances and property of every description used in connection therewith.
 2. The contractor assumes all risks, hazards and conditions in connection with the performance of the contract, and even if the performance of the contract involves a greater expenditure of money than the contractor expected at the time of bidding, no allowance will be made on account thereof, and the contractor shall continue with and complete the work.
- ### SUPERVISION
1. The contractor shall give personal supervision to the work, using his best skill and attention, and shall keep a competent foreman and necessary assistants constantly on the site. The foreman shall be the personal representative of the contractor and all directions given by him shall be as binding as if given by the contractor. Communication delivered to the foreman by the architect shall be as binding as if delivered to the contractor.
- ### DAMAGES IN THE WORK
1. The owner, without invalidating the contract, may alter by adding to or deducting from the work covered in the contract. All such work shall be executed under the conditions of the original contract except that no extra work or changes shall be done without written order from the architect. Such orders shall cover the agreed price and terms of extra work of changes, if work is to be omitted, then proper credit for such omitted work shall be given the owner.
- ### CLEANING BUILDING AND PREMISES
1. Prior to the completion of the work, the contractor shall thoroughly clean the exterior and interior of the building, including fixtures, equipment, floors and hardware, removing all plaster spots. Stains, paint spots and accumulated dust and dirt. This shall include thorough cleaning of all roofs, window sills and ledges, horizontal projections, steps, rails, sidewalks or other surfaces where debris may have collected wash and polish all glass.
- ### GUARANTEES
1. Except as otherwise specified, all work shall be guaranteed in writing by the contractor against defects resulting from defective materials, poor workmanship or faulty equipment, for a period of one year from the date of filing the notice of completion and the acceptance of the building by the owner. If within the guarantee period correction of faulty materials or workmanship is necessary in the opinion of the owner, the contractor shall promptly, upon receipt of notice from the owner and without expense to the owner, correct faulty materials or workmanship.
- ### VERIFICATION OF UNDERGROUND UTILITY IMPROVEMENTS
1. The general contractor shall provide the owner with an as-built drawing locating and describing all underground utilities located on the site, including but not limited to the following gas lines, water lines, sanitary sewers, telephone lines, and electric lines.
- ### TRANSPORTATION OF EXCAVATED MATERIAL
1. The contractor shall transport all excavated material not required for re-compaction to an approved landfill site outside the coastal zone. Provide trip tickets for all excavated material removed from the project.

CODE COMPLIANCE

Governing Agency:
City of Santa Barbara
630 Garden Street
Santa Barbara, CA 93101

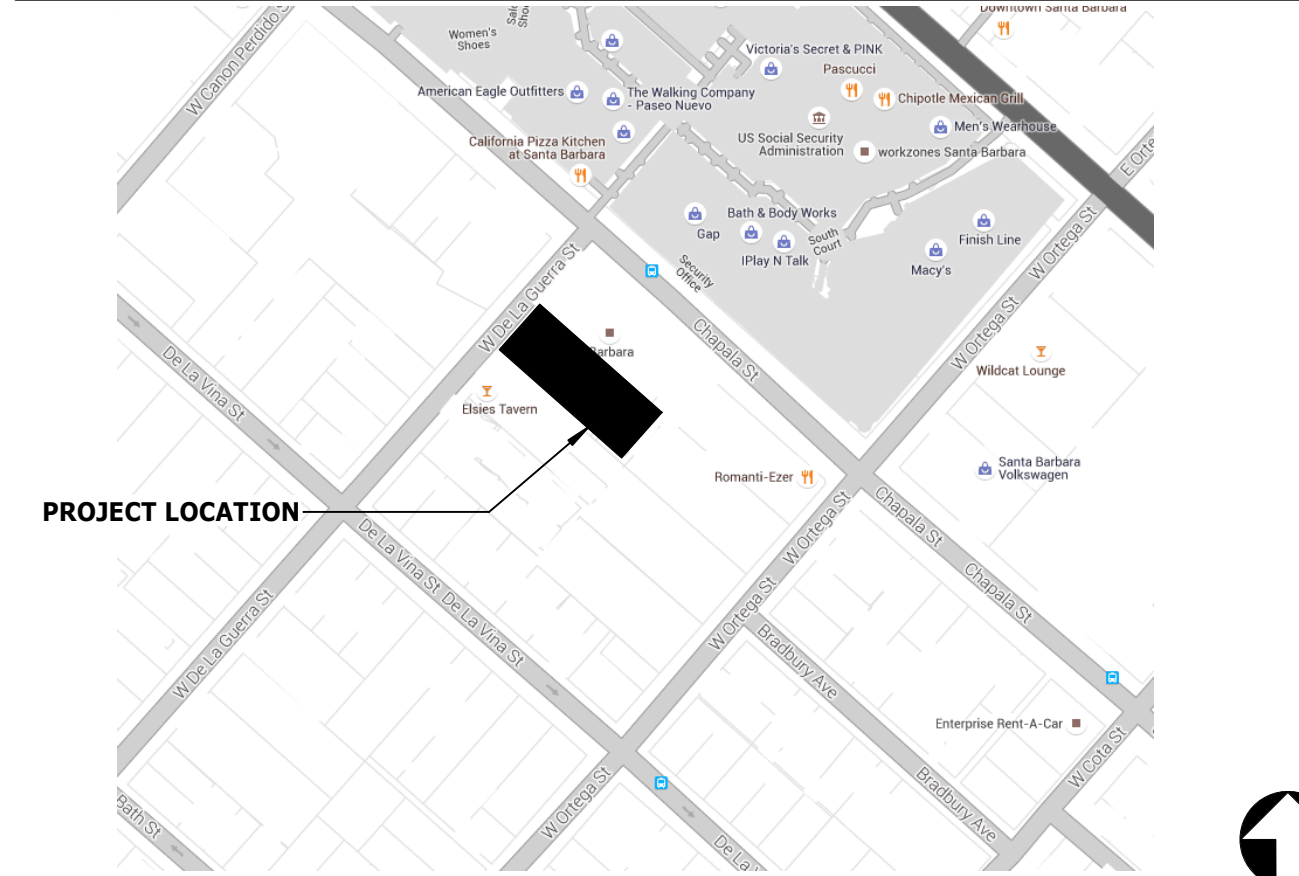
Applicable Codes:
All work & material shall be performed & installed in compliance with the current editions of the following codes as adopted by the local governing authorities. Nothing in these plans is to be construed to permit work not conforming to these codes.

- California Building Code, 2016 Edition (CBC)
- California Electrical Code, 2016 Edition (CEC)
- California Mechanical Code, 2016 Edition (CMC)
- California Plumbing Code, 2016 Edition (CPC)
- California Energy Code, 2016 Edition (CEC)
- California Fire Code, 2016 Edition (CFC)
- California Green Building Standards Code, 2016 Edition
- ADA Standards for Accessible Design, 2010 Edition
- City of Santa Barbara Municipal Code, Adopting Ordinances
- City of Santa Barbara Amendments #5780.
- Best Management Practices listed on this sheet.
- ASCE 24-14
- SMBC 22.24 Floodplain management prdnance.
- FEMA technical bulletins. & applicable FEMA publications

BEST MANAGEMENT PRACTICES

1. Stockpiles of earth, sand & other construction related materials must be protected from being transported from the site by the forces of wind or water. This includes sand for stucco, drywall, demolition debris, drywall "mud" packaging, etc.
2. Fuels, oils, solvents & other toxic materials must be stored in accordance with their listing & are not to contaminate the soil & surface waters. All approved storage containers are to be protected from the weather. Spills may not be washed into the drainage system.
3. Non-storm water runoff from equipment & vehicle washing & any other activity shall be contained at the site.
4. Excess or waste concrete may not be washed into the public way or any other drainage system. Provision must be made to retain concrete wastes on site until they can be disposed of as a **solid** waste.
5. Trash & construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
6. Sediments & other material may not be traced from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public was accidental depositions must be swept up immediately & may not be washed down by rain or other means.

VICINITY MAP



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PROJECT SCOPE

Proposal To Redevelop 113 And 117 W. de la Guerra Into A New Three & Four Story Mixed Use Development Under The New A.U.D. Program. The Existing Site Consists Of:

- Approx. 4,455 S.F. One Story Commercial With Historic Facade.
- Approx. 1,113 S.F. One Story Commercial With Attached Patio.
- Approx. 923 S.F. One Story Commercial.
- Existing 15 On Grade Parking Spaces.

The Proposed Project Will Consist Of **5** Two Bedroom (**2** Townhomes, **2** Flats), **16** One Bedroom Units & **2** Studio Unit - Totalling **23** Residential Units And **15,956** Net S.F.

- The Proposed Project Will Also Have One Commercial Unit Fronting Onto De La Guerra - Totalling **1,125** Net S.F.
- Preservation Of A Portion Of Existing Historic Facade And Tile Roof At 113 W. De La Guerra.
- On Grade Parking Including 23 Spaces For Residential Units Plus One Additional Accessible Space And 2 Spaces For Commercial Including A Van Accessible Stall.
- Proposed **2,443 S.F.** Common Open Yards On Second And Fourth Level Exceeding Minimum Requirements.
- Compensating Front Setback Per 30.150.090.E.1 (See AS101 Site Plan).
- A Minor Zoning Exemption is required due to reduced driveway visibility adjacent to the portion of the existing historic building to remain
- One existing street tree (queen palm) will be relocated out of the proposed widened driveway and required HLC approval. One existing street tree (king palm) to be protected in place.
- The project will comply with Tier 3 SWMP requirements - see civil and landscape plans for design conformance

PROJECT INFORMATION

OWNER:	John DeWilde 115 W. de la Guerra Street Santa Barbara, CA 93101
PROJECT ADDRESS:	113 & 117 W. de la Guerra Street Santa Barbara, CA 93101
MST#	2015-00626
A.P.N.#	037-082-003 & 037-082-027 (VOLUNTARY LOT MERGER)
ZONING	C-G (C-2)
LOT AREA	16,273 S.F. (Net) (0.37 ACRES)
EXISTING USE	COMMERCIAL
PROPOSED USE	MIXED USE A.U.D.
OPEN YARD	15% NET LOT = 2,441 S.F.
OCCUPANCY TYPE	A, B, R
TYPE OF CONSTRUCTION	TYPE V
HIGH FIRE	NO
FIRE SPRINKLERS REQUIRED	YES
FLOOD HAZARD	NO
REQUIRED SETBACKS	FRONT = 5' REAR = 0' SIDE = 0'
MAXIMUM HEIGHT LIMIT	45'
REQUIRED OFF STREET PARKING	25 + 1 Residential Accessible space
PROPOSED OFF STREET PARKING	26
TOTAL PARKING	26
BICYCLE PARKING	Residential = 23 Long Term req'd, 23 Long Term provided Commercial = 1 required each long term and short term, 4 provided

AREA (GROSS)		
USE CLASSIFICATION	AREA TYPE	AREA
BUSINESS AREAS (B)	COMMERCIAL	1,241 SF
CIRCULATION	STAIRS & ELEVATOR	1,994 SF
PARKING GARAGES (S-2)	PARKING	11,805 SF
RESIDENTIAL (R-2)	RESIDENTIAL	17,459 SF
UTILITY (ACCESSORY) (U)	UTILITY	566 SF
TOTAL GROSS AREA		33,064 SF

AREA (NET)			
USE CLASSIFICATION	AREA	PARKING REQ'D	Z.O.B.
BUSINESS AREAS (B)	1,125 SF		20%
RESIDENTIAL (R-2)	15,944 SF	23.0	
TOTAL NET AREA	17,070 SF	25.0	

GMP Floor Area

Property	APN	Permitted building SF	As-built SF	GMP Allocation SF	Proposed SF	GMP Credit SF
113-115 W DLG	037-082-027	3,426	1,029	3,000	1,139	5,287
117 W DLG	037-082-003	2,212		2,400	0	4,612
Total		5,638		5,400	1,139	9,899



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DMHA, its agents, representatives, consultants, and subcontractors shall not be held responsible for any errors or omissions in any form or manner whatsoever nor shall they be held responsible for any third party without first obtaining the expressed written permission of DMHA.

NOT FOR CONSTRUCTION

De La Guerra Mixed Use Project

113-117 West De La Guerra St.
Santa Barbara, CA 93101

PROJECT #: 15C116

NO.	DESCRIPTION	DATE
	PRT Design Review	12/17/2015
	HLC Concept Review	11/09/2016
	HLC Concept Review	03/03/2017
	HLC Concept Review	11/01/2017
	Dev. App. Submittal	07/22/2019
	HLC Conceptual Review	07/23/2019
	HLC Submittal	01/16/2020

G001
COVER SHEET/INDEX

EROSION CONTROL NOTES

The owner/contractor shall remain responsible for the clean-up of any mud or dirt that is tracked onto streets or paved areas, even with the installation of gravel construction entrances.

- Gravel Construction Entrances:
 - A gravel construction entrance is generally required where vehicle traffic is anticipated off of existing paved or gravelled roads. If there is more than one vehicle access point, a gravel construction entrance should be installed at each entrance. The responsibility for field design to meet site conditions, and maintenance of the constructions entrances remains with the property owner or construction contractor. Vehicles or equipment shall not enter a property adjacent to a creek, watercourse, or storm water facility unless adequate measures are installed to prevent physical erosion into the water.
- Catch Basin Protection:
 - A filter system shall be used on catch basins (drop inlets) in public and private streets, and parking areas as a means of sediment control. Alternate methods will require the approval of the county.
- Sediment Filters/Barriers:
 - For all projects, a silt fence or straw wattle dike shall be installed along the down slope edge of the disturbed area, prior to the commencement of grading. The sediment filter structures will be located so that all runoff from the construction site is filtered, or passes through a sediment detention basin prior to crossing a property line, entering a creek of entering the city storm drain system. Sediment filter structures are to be inspected regularly by city inspection staff during inspections scheduled by the contractor or engineer of record, and sediment removed when the depth of sediment is no more than half the height of the structure. Silt fences and straw watties shall be installed according to the reference cited.
- Straw Watties:
 - Straw watties can be used as dikes to stabilize temporary channel flow lines or as a perimeter filter barrier. Straw watties must be installed in a trench, staked and backfilled if they are to be effective in reducing flow velocity and filtering sediment from runoff.
 - Straw watties should not remain in place more than 12 months after installation unless it can be determining significant deterioration has not occurred. When used as a perimeter filter sediment should be removed when material is within 3 inches of the top of any wattle.
- Silt Fences:
 - Silt fences should be installed where sediment from sheet flow or rill and gully erosion will enter directly onto adjacent property. When installing, it is important the fabric material be anchored into a trench and backfilled.
 - Maintenance of filter fences is similar to that of straw watties in that the fabric must be inspected and needed repairs implemented after every storm event. Sediment deposits should be removed when material reaches no more than a depth of one-half the fence height.
- Plastic Sheetting:
 - Plastic sheeting shall generally not be used as an erosion control measure over large areas. Plastic sheeting may be used to protect small, highly erodible areas, or to protect temporary stockpiles of material. If plastic sheeting is used, the path of concentrated flow from the plastic must be protected.
- Existing Vegetation and Re-Vegetation:
 - As far as is practicable, existing vegetation shall be protected and left in place, in accordance with the clearing limits shown on approved building, grading, or public works and erosion control plans. The exception is where exotic plant material are to be removed, or fire fuels reduced in accordance with an approved plan. Work areas shall be carefully located and marked to reduce potential damage, where existing vegetation has been removed, or the original land contours disturbed, the site shall be re-vegetated, and vegetation established, as soon as practicable, but no later than October 15.
- Slope Protection:
 - Hydro-seeding alone will normally not be considered satisfactory erosion protection for disturbed slopes steeper than 4:1:h, these areas should also be protected using straw and tackifier. The installation of erosion control blankets should be considered for all disturbed slopes steeper than 2.5:1 (h:v) and greater than 20 feet in slope length. Installation of straw watties staked on contour should be considered for all slopes steeper than 4:1 (h:v) with slope lengths greater than 30 feet. Straw watties or silt fencing should be installed at the toe of all slopes steeper than 4:1 (h:v) along (just below) top of bank along all creeks.
- Wet Weather Measures:
 - On sites where vegetation and ground cover have been removed from more than 0.6 acre of land, vegetative ground cover shall be planted on or before September 15 with the ground cover established by October 15, as an alternative of a protective ground cover is not established by October 15, the open areas shall be protected through the winter with straw mulch, erosion blankets, the installation of additional straw watties, or other method(s) approved by the city.
- Seeding:
 - Seeding shall be as follows, or as recommended by a California licensed landscape architect or a certified professional soil erosion and sediment control specialist.

08 - QUALITY CONTROL

- The contractor shall supervise and direct the work, issuing their best skills and attention. The contractor shall be solely responsible for all fabrication, shipment, delivery and installation means, methods techniques, and for coordinating and for the performance and finish of the work under the contract.
- When the owner's material is received at the job site, the superintendent is to inventory against the owner's vendors list and shall notify the owner immediately. If notification is not forthcoming, replacement of shortages or damaged materials shall be back charged to the general contractor.
- The contractor shall employ a competent superintendent. The superintendent shall represent the contractor and all communications given to the superintendent shall be as binding as if given to the contractor.
- The contractor shall, at all times, enforce strict discipline and good order among his employees and shall not employ on the work any unfit person or any person not skilled in the task assigned.
- All trades shall confine construction work within the premises as much as possible and shall work in an orderly manner removing trash and debris from the project on a daily basis. At no time shall pipes, wires, boards, or other construction materials cross public areas where harm could be caused to the public.
- All materials used in construction shall be new and of first class quality unless otherwise indicated. All materials and workmanship shall be guaranteed for a period of one (1) year after date of the opening of the store.
- Product samples, manufacturer's data and shop drawings shall be submitted to owner for review prior to contractor or engineer of record. The terms equal or approved equal shall require requests for substitutions for products or manufacturers not specified.

09 - TEMPORARY SERVICES

- If applicable, the general contractor shall provide such extensions, devices, hookups, and metering as required for temporary water, power, lighting, heat or as required to carry out the work.
 - Temporary telephone - the owner's general contractor shall install a job site telephone and fax number and notify owner by fax of the telephone number and the name of the superintendent.
 - Temporary water - water required in the performance of the contract shall be provided and paid for by the contractor. Water used for human consumption shall conform to the requirements of state and local authorities for portable water.
 - Temporary electrical - temporary electrical service shall be the responsibility of the general contractor.
 - Supplied by owner.
 - Temporary heat - when required for proper installation or protection of any portion of the work. The contractor shall furnish and install temporary heating units as approved by the owner or local authority.
- Cost of temporary utility services provided by owner. The contractor shall make provisions or coordinate with the owner on the utility services.

10 - CONTRACT CLOSE-OUT

- Completion is the date on which the work or designated portion thereof is sufficiently complete, so the owner may occupy the same for the intended purpose.
- Provide the following for close-out:
 - G.C.'s final waivers (need two signed originals)
 - G.C.'s one-year warranty
 - G.C.'s affidavits g706 & g706a
 - Sub-contractor's waivers
 - Certificate of occupancy (if applicable)
 - As built drawings
 - Pictures of constructed space
 - Signed off punchlist
- The following documentation:
 - 5- year manufacturer's warranties

Note: all paperwork to be submitted 24 days after completion date.

11 - FINAL CLEANING

- General;
 - The work included in this subcontract shall be performed according to the general conditions and requirements which are stated on this set of drawings.
 - Each subcontractor shall clean his/her work and remove all trash, debris, packing, etc. Resulting from that work.
 - The final cleaning shall be "white glove level" and performed by a professional cleaning company.
 - All surfaces be free of marks, blemishes, dust, dirt, over spray, paint spills, etc.
 - All sub-contractors shall remove excess materials after work is completed and floor to be broom cleaned.
 - General contractor shall provide a professional cleaning service for all areas of the work at the completion of the project and before turning the space over to the owner. Work to include but not be limited to removal of all traces of soil waste materials, smudges, and foreign matter. Remove all traces of spilled material from adjacent surfaces. Clean glass, both sides. The floor shall be cleaned and using manufacturer's recommended cleaning materials only.
- Products and materials;
 - All products used for cleaning shall be appropriate for and compatible with the materials being cleaned.
- Execution;
 - Clean all plastic laminates, counter tops, and metal trim with non-abrasive cleansers.
 - Clean all glass and mirrors with ammonia-type, non-streaking glass cleaner.
 - Damp wipe all fixtures, including light fixtures.
 - Remove labels, except for those required to demonstrate compliance with building codes, fire-ratings, and testing. Also remove all residue and glue remaining on the surface.
 - Toilet rooms - all fixtures and washable surfaces in the toilet rooms shall be cleaned, sanitized, and polished.
 - Electrical panels shall be dusted and wiped clean.
 - Vinyl composition tile - wash, seal, and wax.
 - Remove protective coverings and tags.
 - Trim - wipe clean
 - Remove and dispose of all trash, scraps, packing, etc.
 - Trim - wipe clean
 - Soffits - dust clean.

GENERAL SPECIFICATIONS

- Carpentry
 - Sills shall be 2x or as otherwise indicated, pressure treated to resist termite infestation, set on 1/2" sill sealer insulation. Anchor per structural drawings.
 - All joists shall be Douglas Fir or equal.
 - All studs shall be Douglas Fir with bridging at mid-height on walls over 8'-0" high.
 - All structural woodwork shall comply with national lumber manufacturers association and western wood products association standards and practices.
 - Double wood joists under partitions running parallel to direction of joists.
 - Fire-stop all interior framing and overhangs as required by code.
 - Where joists and beam frame flush, provide two or equal steel hangers and connectors for support.
 - Provide min. 2-2x post each side of all openings. Provide 3-2x posts each side of headers or beams over 7'-0" span.
- Bracing
 - All masonry and frame walls shall be adequately braced and shored during construction until fully and properly tied back and cured. Follow code requirement and good construction practices for same.
- Stairs
 - All stairs shall be designed, constructed, and installed to sustain a live load of 100 lbs. per sq.ft.
- Railings
 - Handrails and guardrails shall be designed and constructed for a concentrated load of 200 lbs. applied at any point and in any direction, the in-fill are of a guard shall be designed and constructed for a horizontal concentrated load of 200 lbs. applied over 1 sq.ft. at any point in the guard system, though non-simultaneous with the loading of the rails.
- Flashing and Caulking
 - Flash around chimney, vent stacks, all roof penetrations and wherever else required with galvanized flashing, lapping all flashing at least 6". All valleys and roof interactions with walls shall also have galvanized flashing. Provide flashing above doors, windows and louvers and all other openings. Caulk all exterior joints. Building shall be guaranteed fully watertight.
- Roof drain leaders
 - All drain leaders and gutters shall be pre-finished galvanized sheet metal.
- Insulation
 - Provide thermal insulation as shown on the drawings.
 - Insulate all pipe chases for sound.
 - Provide rock wood insulation or equivalent between all window and exterior door frame and rough framing.
- Finishes
 - interior and exterior paints - to be zero or low voc, or of recycled content - verify samples with architect / owner.
 - Woodwork finishes - water based urethane or lacquer finish only - verify samples with architect / owner.
 - Adhesives - low toxicity, solvent free only.
- Fixtures and Appliances
 - All fixtures and appliances to be selected by owner / architect.
 - All water closets to be less than or equal to 1.28 gal/flush.
 - All showerheads to be less than or equal to 1.8 gpm at 80 psi.
 - All kitchen faucets to be less than or equal to 1.8 gpm at 60 psi.
 - All kitchen faucets to be less than or equal to 1.2 gpm at 60 psi.

00 - CONTRACT REQUIREMENTS

GENERAL CONDITIONS

The specifications are compiled not only to establish a standard but to ensure the contractor maintains a quality in the performance and finish of the work recommended and accepted by the OWNER. The general contractor shall be responsible for fully acquainting themselves with the content and scope of these specifications. Special attention should be given to the specifications throughout the span of this contract by the standards established herein and shall be applied with emphasis to all work. Work declared unacceptable by the OWNER shall be corrected in a manner and degree of quality as accepted by the OWNER.

Note: If G.C. is not complete, all costs will be charged back to the general contractor.

- The "General Conditions" of the contract for construction are to be determined between the OWNER and general contractor and shall govern the construction sequencing, respective responsibilities and payment schedules. On-site field observation shall be performed by an appointed representative of the OWNER.
- no contractual adjustment shall be due or come in demand as a result of failure on the part of the contractor to fully acquaint themselves and all other parties to the contract with the agreed upon general conditions.
- The OWNER, without invalidating the contract, may order extra work, alter, add to or deduct from the contract. The contract sum and completion date shall be adjusted accordingly.
- The general contractor shall include the cost of all permits and licenses in the contract. The subcontractors shall include all permit and license costs as required by their proposals to the general contractor. Permits and fees to include connecting all equipment, fixtures, services and utilities as required.
- The costs submitted by the contractor are understood in every case to include all government and municipal taxes and fees of every kind, and the OWNER shall not be called upon to make any payments on such taxes in addition to the contract amount.

01 - GENERAL REQUIREMENTS

EXISTING CONDITIONS

- Prior to submitting bid proposals, the OWNER's contractor and each subcontractor shall visit the proposed space and make themselves familiar with all existing conditions, take field measurements and record all information needed to provide a complete scope of work.
- Notify the OWNER immediately of conditions which may contribute to unnecessary, excessive costs.
- No additional compensation will be paid by the OWNER for disputes which result from a lack of familiarity with the existing conditions.
- Existing conditions take precedence over drawings and specifications for dimensions.
- Special attention should be given to dimensions indicated as "hold" and "verify in field (v.i.f.)" dimensions. The general contractor and sub trades shall verify all existing dimensions and locations of stub-ins. The general contractor shall be liable for all costs incurred by themselves or others by failing to maintain the dimensions on the drawings or contacting the ARCHITECT in the case of discrepancies between actual field conditions and dimensions on the drawings.

02 - SELECTIVE DEMOLITION

- The work included in this subcontract shall be performed according to the general conditions and requirements which are stated on this set of drawings.
- The contractor performing demolition shall be responsible for verifying all existing field conditions so as to familiarize themselves with the demolition and/or removal work which may be required to produce the end results intended in the contract documents.
- Each portion of the demolition work is to be done by the specific trade that is carpentry work by the carpentry trade, mechanical work by the mechanical trades, electrical work by the electrical trades, and so on. Therefore, each contractor and subcontractor shall thoroughly examine the proposed work and make allowances in his proposal for the cost of all demolition, unless otherwise notified by general contractor.
- Remove all debris daily to area designated.
- Provide temporary bracing, shoring and supports as required for existing structural systems to prevent damage during construction.
- Disposal shall be done legally in compliance with local ordinances and state environmental regulations.
- General contractor shall remove all existing floor coverings from space; repair, patch, level, smooth and prepare existing slab as required for installation of new floor coverings.
- All ceiling construction (including, but not limited to, drops, bulkheads, lighting, diffusers, etc.) shall be removed unless specifically called out to remain on demolition plan.
- The electrical contractor shall remove and/or relocate all existing electrical devices, conduit and wiring work as called out on the drawings and as necessary whether such items are indicated on drawings or not, in order to accomplish the installation of the specified new work-equipment material and devices and retractor shall become the property of contractor (if approved by OWNER). Such items may be reused if specifically designated on the drawings, conduit, wire and outlet boxes removed shall be scrapped by the electrical contractor where walls and ceilings are to be removed as shown on the drawings. The conduit is to be cut off by the electrical contractor so that the abandoned conduit in these walls and ceiling may be removed from the walls and ceilings by the demolition contractor. All dead end conduit runs shall be plugged at the remaining line outlet boxes or at the panels.
- G.C. to verify all existing grades corresponding to OWNER design package in field prior to construction.

03 - MODIFICATION PROCEDURES

SUBSTITUTIONS & CHANGES

- Do not substitute materials, equipment or methods unless such substitution has been approved specifically in writing by the OWNER.
- Notify the OWNER immediately by telephone of any hidden, unforeseen conditions which MAY impact work. Confirm all notifications and action required in writing within 24 hours of the event.
- Milestone date changes must be made in writing by THE OWNER.
- The OWNER has chosen materials for use on this project as specified. Upon award of the contract, the specified materials shall be ordered immediately and all deliveries confirmed to meet the completion date. Delay in ordering, resulting in materials not being available to the contractor for completion of all work on schedule and resulting in extras, will be the responsibility of the trade responsible for such delays. Materials that are unavailable for inclusion in the project that, as a result cause delays, require the OWNER to choose and approve new replacement materials satisfactory to the project, may result in back charges to the said trade, unless the CLIENT has been advised with sufficient time to make such material revisions.
- Delivery of OWNER-furnished items: the contractor will advise the OWNER in writing, within seven (7) days after awarding, the exact delivery dates and locations they wish to receive all furnished items. Items not scheduled within seven (7) days will be scheduled and delivered at the OWNER's option.

04 - COORDINATION OR SCHEDULE

- The owner's contractor and each subcontractor shall be thoroughly familiar with the work shown on the drawings and on other contract documents.
- All said parties are to notify owner immediately if any discrepancies contained within the contract documents prior to proceeding with action which may result in "extra" or additional cost to the owner.
- Each subcontractor shall coordinate their work with that of others and be aware of all related work to be performed by others, via the owner's contractor.
- The contractor shall, at all times, afford access to the owner and/or agents and employees to the work wherever it is in preparation and progress. The contractor shall provide facilities necessary for such access for the owner or to perform their functions under the contract documents.
- G.C. to account for and inspect all miswork fixtures and assorted accessories within 24 hours of delivery to assure the condition and quantity. Notify the owner and the appropriate distributors within 24 hours if the condition or quantity of the aforementioned items are not in accordance with the schedules and specifications contained in the contract documents.
- The general contractor shall be responsible for coordinating with the owner at their most available date when construction is complete, for visiting the job site and doing the punch list.
- All sub-contractors shall coordinate their work with the work of others or with existing conditions occurring above or below the premises and shall make changes from time to time as required to accommodate such work or conditions. All changes that shall affect the final appearance of the project shall be approved in advance by owner.
- Contractor will contact fixture and material suppliers to schedule all deliveries.

05 - REGULATORY REQUIREMENTS

- Comply with the state and local codes - refer to sheet g001 for building code requirements.
- All trades and sub shall be registered with the city, county, state, and authorities as required.
- If required, the general contractor shall be responsible for obtaining a certificate of occupancy from the governing authority.
- All trades shall conform with all applicable federal, state, municipal, and O.S.H.A. codes, rules and regulations.

06 - SPECIALTY REQUIREMENTS

- Work shall be completed in a timely manner, consistent with the owner approved construction schedule.
- The superintendent will be required to maintain a daily journal of events which shall include work performed, number of workers, of each trade on job, construction changes, telephone calls, etc.
- The contractor shall be responsible to the owner for acts and omissions of his employees, sub- contractors and their agents and employees, and other persons performing any of the work under a contract with the contractor.
- The contractor agrees that in the performances of the work called for by the contract and contract drawings, will only employ such labor as not to delay or interfere with the speedy and lawful progress of the project and as will be acceptable to and work in harmony with all other workers employed on the construction site.
- Materials and equipment shall be stored and installed in accordance with manufacturer's instructions, with seals and labels intact and legible. Should a conflict or discrepancy exist between manufacturer's instructions and recommendations, and those on the drawings, the general contractor shall contact owner prior to further work in the area of question.
- The contractor agrees to accept all owner furnished items at the job site or designated storage space and unload these items from the delivery transport to store premises. Items delivered to a designated storage space shall be delivered by general contractor.
- The general contractor shall be responsible for security of the project and materials, whether stored within the premises or elsewhere until the point of completion. This shall include all owner-furnished items accepted by the contractor.

07 - SUBMITTALS

- The general contractor shall provide a physical or digital submittal (shop drawings, product data, or physical samples) for the following: fire sprinklers, fire alarm, concrete mixes, plumbing fixtures & accessories, doors & door hardware, windows & window hardware, exterior and interior finish materials, gates & hardware, electrical fixtures, signage & paint drawdowns.
- No portion of the work requiring submission of a shop drawing, product data or samples shall be commenced until the submittal has been approved by the architect. All such portions of the work shall be in accordance with approved submittals.
- The contractor shall not be relieved from responsibility for errors or omissions in the shop drawings, product data or samples.

ARCHITECTURAL SYMBOLS

Sheet Reference	View Name ##
	View Scale
Section	
Level	
Detail Section	
Detail Callout	
Elevation	
Area Tag	
Door Tag	
Window Tag	
Wall Type	
Material Tag	
Revision Tag	
Roof Pitch	
Signage Reference	
Tempered Safety Glazing	
Dimension to Core Structure	
Dimension to Finish Face	
Fire Extinguisher	
Indication of accessible clearances per details provided on sheet G003	



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Santa Barbara, CA 93103
www.dmhacorp.com



De La Guerra Mixed Use Project

113-117 West De La Guerra St.
Santa Barbara, CA 93101

PROJECT #: 15C116

NO.	DESCRIPTION	DATE
PRT	Design Review	12/17/2015
HLC	Concept Review	11/09/2016
HLC	Concept Review	03/03/2017
HLC	Concept Review	11/01/2017
Dev. App. Submittal	Dev. App. Submittal	07/22/2019
HLC	Conceptual Review	07/31/2019
HLC	Submittal	01/02/2020

G002

SYMBOLS, ABBREVIATION & NOTES



105 WEST DE LA GUERRA



121 WEST DE LA GUERRA



133 WEST DE LA GUERRA



VIEW OF PASEO NUEVO BEYOND



VIEW LOOKING WEST DOWN DE LA GUERRA



VIEW OF N.E. CORNER OF PROPERTY AND NEIGHBOR TO EAST



VIEW OF N.W. CORNER OF PROPERTY AND NEIGHBOR TO THE WEST



VIEW LOOKING WEST ON DE LA GUERRA FROM CHAPALA



VIEW OF N.E. CORNER OF PROPERTY, ADJACENT NEIGHBOR AND PASEO NUEVO BEYOND



VIEW OF FRONT OF SUBJECT PROPERTY



VIEW OF N.W. CORNER OF PROPERTY AND NEIGHBOR TO THE WEST

DMHA

DEVICENTE • MILLS • HOLLIDAY • ASSOCIATES

TEL 805.965.7777

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Santa Barbara, CA 93103

www.dmhah.com

LICENSED ARCHITECT

STATE OF CALIFORNIA

NO. C 31321

EXP. 01/31/21

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De La Guerra Mixed Use Project

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Santa Barbara, CA 93101

PROJECT #: 15C116

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4	HLC Concept Review	11/01/2017
5	HLC Conceptual Review	07/31/2019
6	HLC Submittal	01/02/2020

G011
PHOTO SHEET



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2	Dev. App. Submittal	07/22/2019
3	HLC Conceptual Review	07/31/2019
4	HLC Submittal	01/02/2020

G012
INSPIRATIONAL IMAGERY



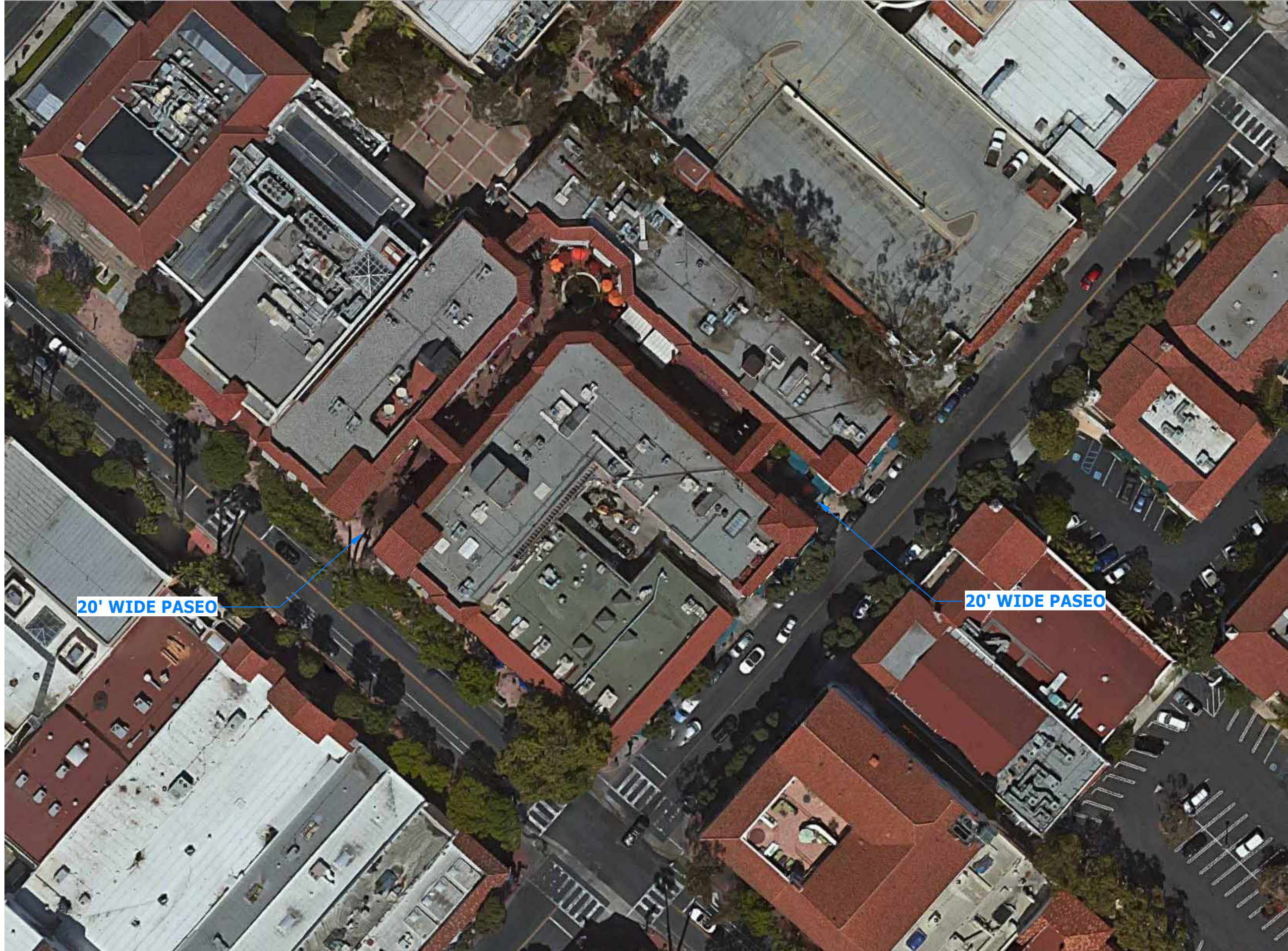
VIEW OF LA ARCADE



VIEW OF LA ARCADE FROM STATE ST.



VIEW OF LA ARCADE LOOKING TOWARDS STATE ST.



LA ARCADE AERIAL VIEW



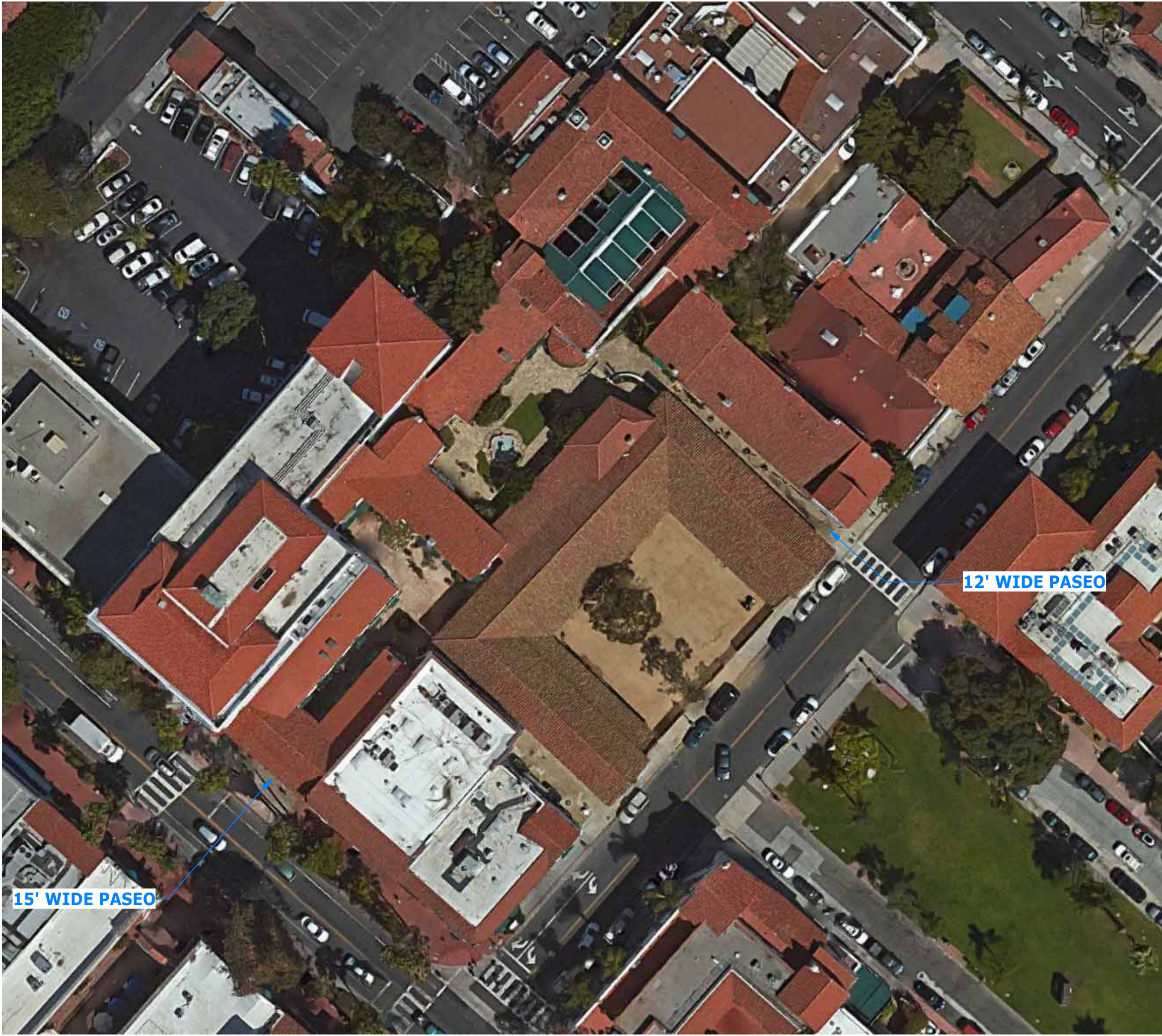
VIEW OF EL PASEO "STREET IN SPAIN"



VIEW OF EL PASEO FROM STATE ST.



VIEW OF EL PASEO FROM STATE ST.



EL PASEO AERIAL VIEW

De La Guerra Mixed Use Project

113-117 West De La Guerra St.
Santa Barbara, CA 93101

PROJECT #: 15C116

NO.	DESCRIPTION	DATE
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7	HLC Submittal	01/02/2020

G013
PASEO REFERENCE IMAGERY

NOT FOR CONSTRUCTION













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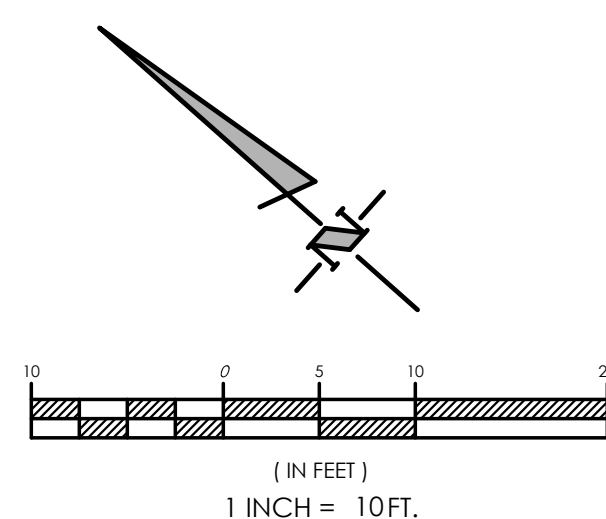


1. ALL EXISTING UNDERGROUND UTILITY INFORMATION SHOWN IS GATHERED FROM BEST AVAILABLE SOURCES. ACCURACY OF HORIZONTAL AND VERTICAL INFORMATION SHOULD BE FIELD VERIFIED.
2. CONTRACTOR SHALL VERIFY ALL UTILITY CONNECTION POINTS PRIOR TO CONSTRUCTION.
3. WATERLINES SHALL BE CONSTRUCTED WITH A MINIMUM 36" COVER UNLESS OTHERWISE NOTED.
4. DRY UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. EXACT LOCATIONS, MATERIALS, AND CONSTRUCTION SHALL BE VERIFIED.
5. IRRIGATION ASSUMED TO CONNECT TO 4" DOMESTIC WATER SERVICE.
6. ALL ABANDONED UTILITIES TO BE CUT AND CAPPED A THE MAIN.
7. CONTRACTOR TO CRACK SEAL AND SLURRY 20' BEYOND ALL TRENCHING IN THE RIGHT-OF-WAY.

1. CONSTRUCT 6" FIRE LINE PER CITY OF SANTA BARBARA STANDARD DETAIL W-0.5. TRENCH AND BACKFILL PER CITY OF SANTA BARBARA STANDARD DETAILS U-0.10 AND U-0.11.
2. CONSTRUCT 4" DOMESTIC WATER SERVICE CONNECTION PER CITY OF SANTA BARBARA STANDARD DETAIL W-0.70. TRENCH AND BACKFILL PER CITY OF SANTA BARBARA STANDARD DETAILS U-0.10 AND U-0.11.
3. CONSTRUCT 6" DOUBLE CHECK DETECTOR CHECK ASSEMBLY PER CITY OF SANTA BARBARA STANDARD DETAILS W-13.0, W-13.1, AND W-13.2.
4. CONSTRUCT 4" REDUCED PRESSURE BACKFLOW ASSEMBLY FOR RESIDENTIAL PURPOSES PER CITY OF SANTA BARBARA STANDARD DETAILS W-13.0, W-13.1, AND W-13.2.
5. EXISTING "XX" WATER SERVICE TO BE USED FOR COMMERCIAL PURPOSES.

1. INSTALL 6" PVC SEWER LATERAL PER CITY OF SANTA BARBARA STANDARD DETAILS S-0.4.0 AND S-0.4.1, TRENCH AND BACKFILL PER CITY OF SANTA BARBARA STANDARD DETAILS U-0.1.0 AND U-0.1.1, SLOPE PER PLAN.
2. INSTALL 6"x6" WYE CONNECTION AT EXISTING SEWER MAIN.
3. INSTALL SANITARY SEWER CLEANOUT PER CITY OF SANTA BARBARA STANDARD DETAIL S04.4.
4. INSTALL 750 GALLON GREASE TRAP-JENSEN PRECAST OR APPROVED EQUAL.
5. INSTALL 12X12" PRECAST CONCRETE DROP INLET WITH TRAFFIC-RATED GRATE-BROOKS PRECAST OR APPROVED EQUAL.
6. INSTALL 6" RISER WITH 6" ROUND HEEL-POOF GRATE.

- | | |
|---|----------------------------|
|  | EXISTING AC PAVEMENT |
|  | EXISTING CONCRETE PAVEMENT |
|  | PROPOSED AC PAVEMENT |
|  | PROPOSED CONCRETE PAVEMENT |
|  | PROPOSED PERMEABLE PAVERS |
|  | PROPERTY LINE |
|  | EXISTING WATER LINE |
|  | EXISTING SEWER LINE |
|  | PROPOSED WATER LINE |
|  | PROPOSED SEWER LINE |
|  | PROPOSED FIRE LINE |
|  | PROPOSED GREASE TRAP |

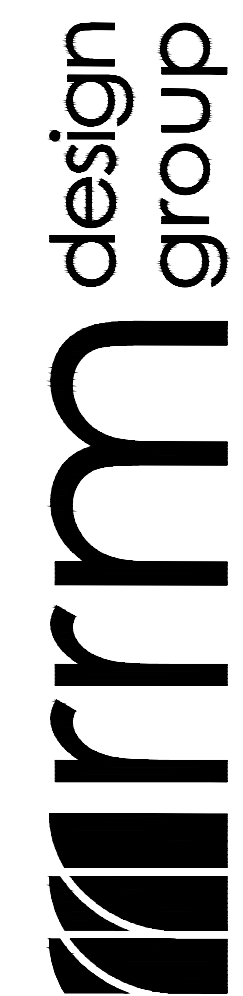


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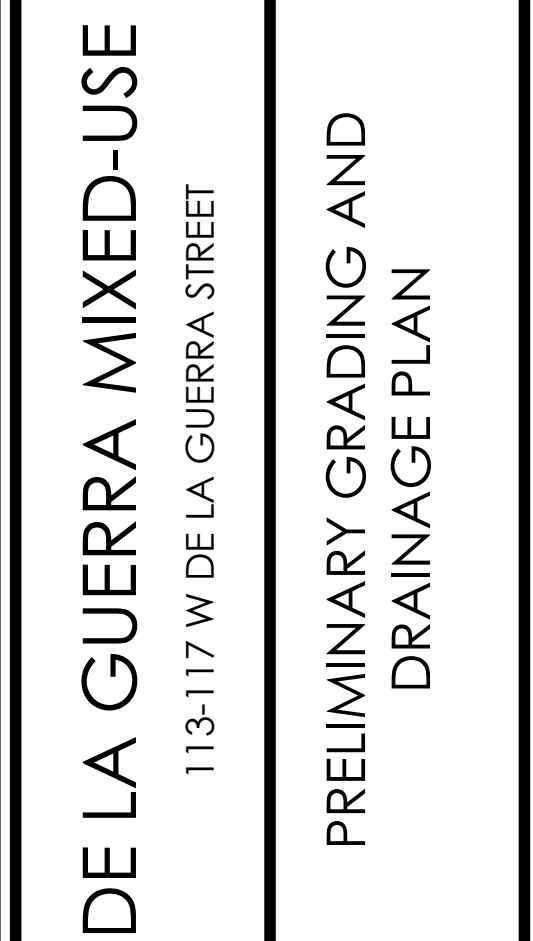


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 a California corporation • Lenny Grant, Architect C22973 • Jerry Michael, PE 34895, LS 6276 • Jeff Ferber, LA 2844

DE LA GUERRA MIXED-USE
113-117 W DE LA GUERRA STREET

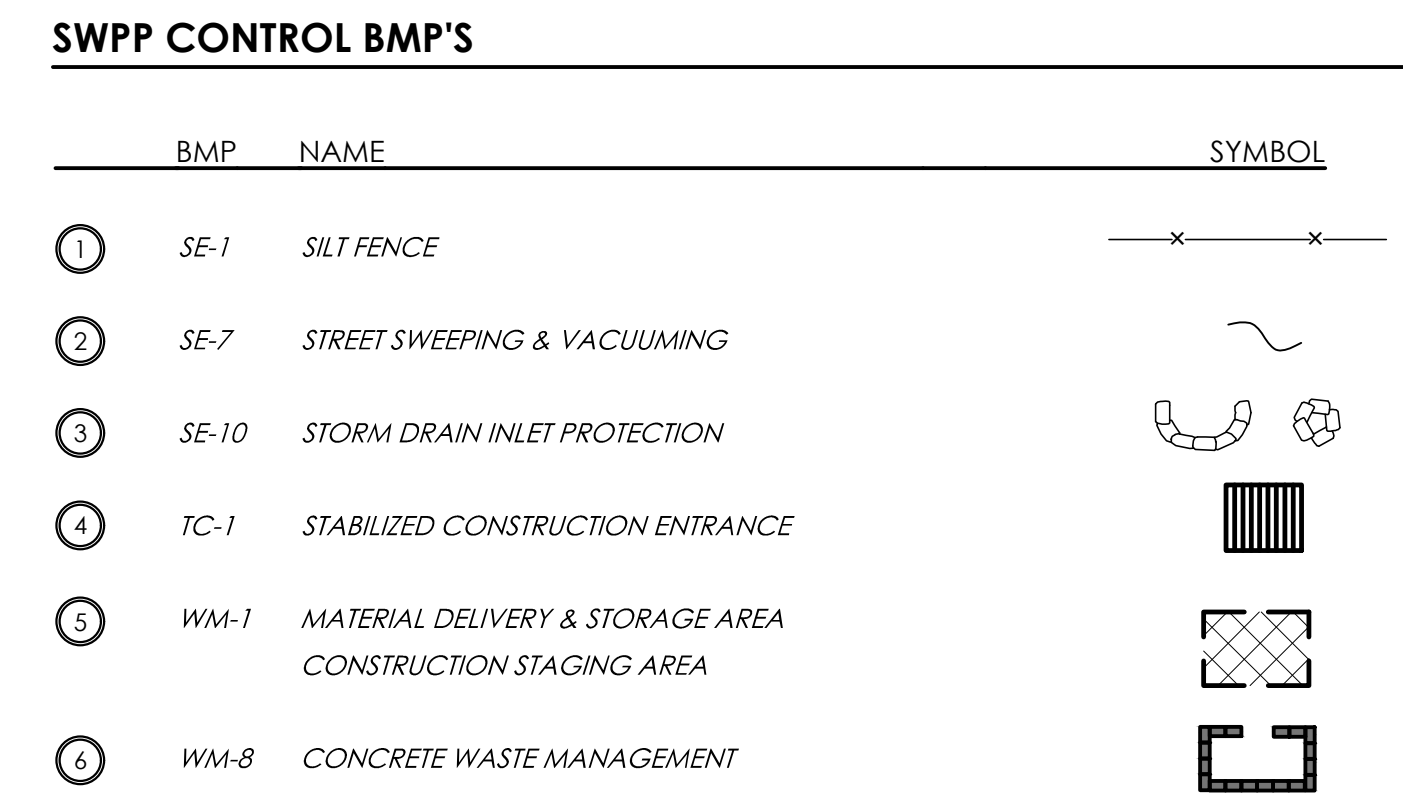
113-117 W DE LA GUERRA STREET

PRELIMINARY UTILITY PLAN



NO.	REVISION	DATE
PROJECT MANAGER		
MICHAEL HAMILTON		
DRAWN BY	DESIGNED BY	CHECKED BY
		MCH
DATE JULY 12, 2019		
CADD FILE C-2.0 Grading.dwg		
JOB NUMBER 0636-01-IN16		
SHEET		

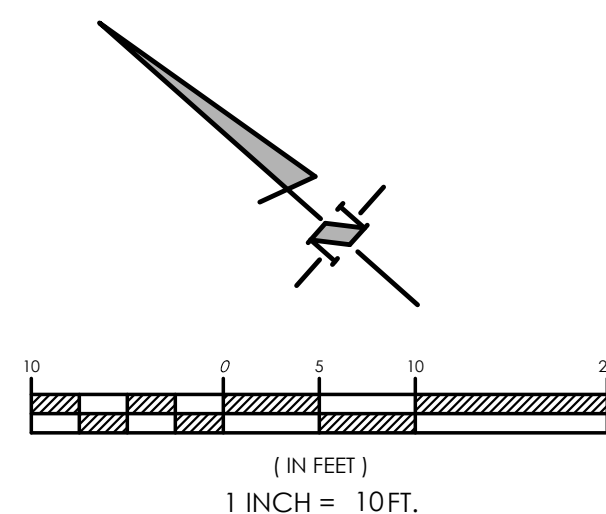
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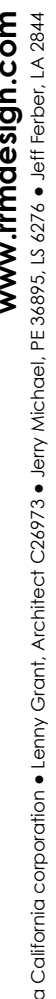
SCALE: N.T.S.

1. CONTRACTOR SHALL PREVENT WATER CONTAMINATION DURING CONSTRUCTION BY IMPLEMENTING THE FOLLOWING CONSTRUCTION SITE MEASURES:
- A. ALL ENTRANCES/EXITS TO THE CONSTRUCTION SITE SHALL BE STABILIZED USING METHODS DESIGNED TO REDUCE TRANSPORT OF SEDIMENT OFF SITE.
- B. STABILIZING MEASURES MAY INCLUDE BUT ARE NOT LIMITED TO USE OF GRAVEL PADS, STEEL RUMBLE PLATES, TIREWALLS, OR OTHER MEASURES TO STABILIZE THE CONSTRUCTION SITE.
- C. ANY SEDIMENT OR OTHER MATERIALS TRACKED OFF SITE SHALL BE REMOVED THE SAME DAY AS THEY ARE TRACKED USING DUST CLEANING METHODS.
- D. GRAVEL RUMBLE PLATES SHALL BE USED AT ALL ENTRANCES/EXITS TO THE CONSTRUCTION AREAS HAS BEEN STABILIZED BY STRUCTURES. LONG-TERM EROSION CONTROL MEASURES OR LANDSCAPING.
- E. APPLY CONCRETE, ASPHALT, AND SEAL COAT ONLY DURING DRY WEATHER.
- F. PAUSE CONSTRUCTION OF ROADWAYS AND DRIVEWAYS FOR AT LEAST 30 DAYS BEFORE PAVING OR APPLYING SEAL COAT, SLURRY, FOAM SEAL ETC.
- G. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTE SUCH AS PAINT, ADHESIVE, CONCRETE, ASPHALT, AND SEAL COAT IN A MANNER WHICH MINIMIZES THE POTENTIAL FOR STORM WATER CONTAMINATION.
2. WITHIN 30 DAYS OF COMPLETION OF GRADING ACTIVITIES, CONTRACTOR SHALL USE HYDRO-SEED, STRAW BLENDS, GEOTEXTILE BINDING FABRICS OR OTHER P&D APPROVED METHODS AS NECESSARY TO HOLD SOILS UNTIL LANDSCAPE VEGETATION IS ESTABLISHED. FAILURE TO MAINTAIN THE ROADWAY AND DRIVEWAY FOR AT LEAST 30 DAYS OF PLACEMENT OF STRUCTURES IF CONSTRUCTION DOES NOT COMMENCE WITHIN 30 DAYS OF GRADING.
3. CONTRACTOR SHALL DESIGNATE A CONSTRUCTION EQUIPMENT FILLING AND STORAGE AREA(S) TO CONTAIN SPILLS, FACILITATE CLEAN-UP AND PROPER DISPOSAL AND PREVENT CONTAMINATION FROM DISCHARGING TO THE STORM DRAINS, STREET, DRAINAGE DITCHES, CREEKS, OR WETLANDS. THE FILLING AND STORAGE AREA(S) SHALL BE LOCATED AT LEAST 100 FEET FROM ANY STORM DRAIN, WATER BODY OR SENSITIVE BIOLOGICAL RESOURCES.
4. GRADING AND EROSION AND SEDIMENT CONTROL PLANS SHALL BE DESIGNED TO MINIMIZE EROSION DURING CONSTRUCTION AND SHALL BE IMPLEMENTED FOR THE DURATION OF THE ROADWAY AND DRIVEWAY CONSTRUCTION. EROSION CONTROL MEASURES BY STRUCTURES, LONG-TERM EROSION CONTROL MEASURES OR PERMANENT LANDSCAPING.
5. THESE MEASURES ARE REQUIRED FOR ALL PROJECTS INVOLVING EARTH-MOVING ACTIVITIES REGARDLESS OF THE PROJECT SIZE OR DURATION. PROPER IMPLEMENTATION OF THESE MEASURES IS ASSUMED TO FULLY MITIGATE FUGITIVE DUST EMISSIONS. DURING CONSTRUCTION, USE OF TRUCKS OR SPREADERS TO APPLY FILL OR SOIL SHALL BE LIMITED TO THE MINIMUM DUMP ENOUGH TO PREVENT DUST FROM LEAVING THE SITE. AT A MINIMUM, THIS SHOULD INCLUDE WETTING DOWN SUCH AREAS IN THE LATE MORNING AND AFTER WORK IS COMPLETED FOR THE DAY. EXCESS DUST MATERIALS SHALL BE REMOVED FROM THE ROADWAY WHEN THE ROAD SPEED EXCEEDS 15 MPH. RECLAIMED WATER SHALL BE USED WHENEVER POSSIBLE. HOWEVER, RECLAIMED WATER SHOULD NOT BE USED IN OR AROUND GROUPS FOR HUMAN CONSUMPTION. MINIMIZE AMOUNT OF ASPHALT AREA AND REDUCE ON SITE VEHICLE SPEEDS TO 15 MPH OR LESS. IF ASPHALT IS REQUIRED, EXPORTATION OF EXCESS AMOUNT OF FILL OR SOIL SHALL BE STOCKPILED FOR MORE THAN TWO DAYS SHALL BE COVERED, KEPT MOIST, OR TREATED WITH SOIL BINDERS TO PREVENT DUST GENERATION. TRUCKS TRANSPORTING HILL MATERIAL TO AND FROM THE PROJECT SHALL BE COVERED. TRUCKS SHALL BE CLEANED WITH P&D SHALL BE INSTALLED AT ALL ACCESS POINTS TO PREVENT TRACKING OF MUD ONTO PUBLIC ROADS. AFTER CLEARING, GRADING, EARTH MOVING OR EXCAVATION IS COMPLETED, TIE THE DISBURSED DUST TO THE UNDERLYING SOIL OR ASPHALT. SOIL BINDERS SHALL BE USED IF THE ROAD OR PAVED OR OTHERWISE DEVELOPED SO THAT DUST GENERATION WILL NOT OCCUR.
6. THE CONTRACTOR OR BUILDER SHALL DESIGNATE A PERSON OR PERSONS TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING, AS NECESSARY, TO PREVENT TRANSPORT OF DUST OFFSITE. THEIR DUTIES SHALL INCLUDED HOLIDAY AND WEEKEND PERIODS. PERSONS MAY NOT BE EMPLOYED BY THE CONTRACTOR. A MINIMUM NUMBER OF SUCH PERSONS SHALL BE PROVIDED TO THE AIR POLLUTION CONTROL DISTRICT PRIOR TO LAND USE CLEARANCE FOR MAP RECORDATION AND LAND USE CLEARANCE FOR FINISH GRADING OF THE SITE.

1. PERMITTER CONTROL BMP'S AND STABILIZED CONSTRUCTION ENTRANCES SHALL BE IN PLACE PRIOR TO ANY GROUND DISTURBANCE.
2. THESE PLANS ARE INTENDED TO REPRESENT DIFFERENT PHASES DURING CONSTRUCTION. THE CONTRACTOR SHALL IMPLEMENT THE BMP'S SHOWN AND/or ANY OTHER MEASURES NECESSARY DURING CONSTRUCTION TO BE IN COMPLIANCE WITH THE GENERAL PERMIT. IMPLEMENTATION OF THE BMP'S SHOWN ON THESE PLANS DO NOT RELIEVE THE OWNER OR HIS/HER REPRESENTATIVE FROM RESPONSIBILITY OF IMPLEMENTING ALL MEASURES NEEDED TO BE IN COMPLIANCE.
3. THE CONTRACTOR SHALL USE CLASS II BASE FOR THE STABILIZED CONSTRUCTION ROADWAY OR ALTERNATE METHODS THAT ACHIEVE THE DESIRED RESULTS. THIS BMP SHALL BE IMPLEMENTED TO ALL BUILDING SITES PRIOR TO ANY CONSTRUCTION, OR AS SOON AS PRACTICAL.
4. THE CONTRACTOR MAY UTILIZE RUBBER PLATES IN LIEU OF RIB RAP AT THE CONSTRUCTION ENTRANCES AS LONG AS THEY ACCOMPLISH THE DESIRED RESULT.
5. ANY SEDIMENTS TRACKED OFFSITE SHALL BE CLEANED DAILY BY MEANS OF MOBILE STREET SWEEPERS.
6. ANY GRADED AREAS THAT ARE GOING TO SIT IDLE FOR MORE THAN TWO WEEKS, SHALL HAVE AN APPROPRIATE GROUND COVER BMP APPLIED.
7. THE LOCATIONS SHOWN FOR THE EQUIPMENT AND MATERIAL DELIVERY STORAGE AREAS AND CONCRETE WASH CLEANOUT MAY BE RELOCATED DURING CONSTRUCTION.



**** NOT FOR CONSTRUCTION ****



DE LA GUERRA MIXED-USE
113-117 W DE LA GUERRA STREET

PRELIMINARY EROSION AND SEDIMENT CONTROL PLAN

Nº	REVISION		DATE

PROJECT MANAGER
MICHAEL HAMILTON

DRAWN BY _____	DESIGNED BY _____	CHECKED BY MCH
----------------	-------------------	----------------

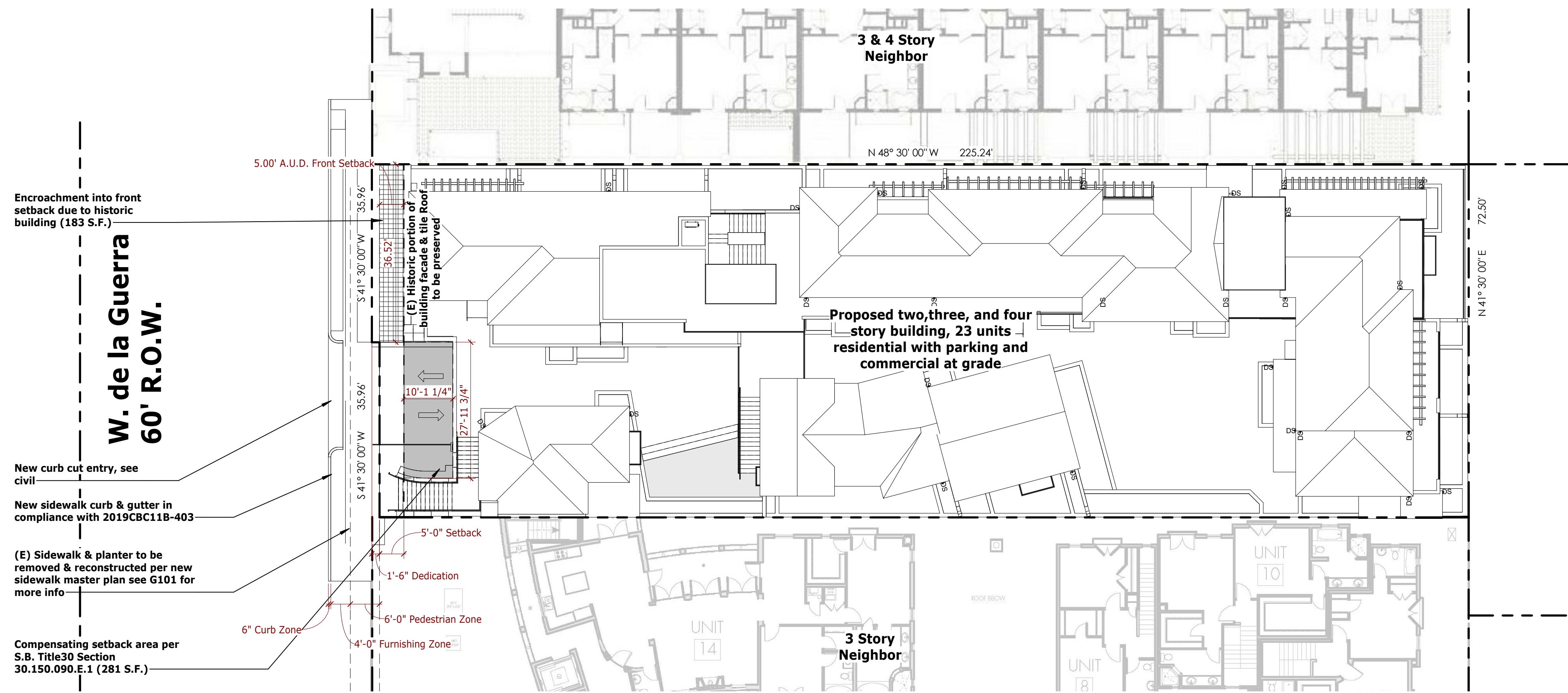
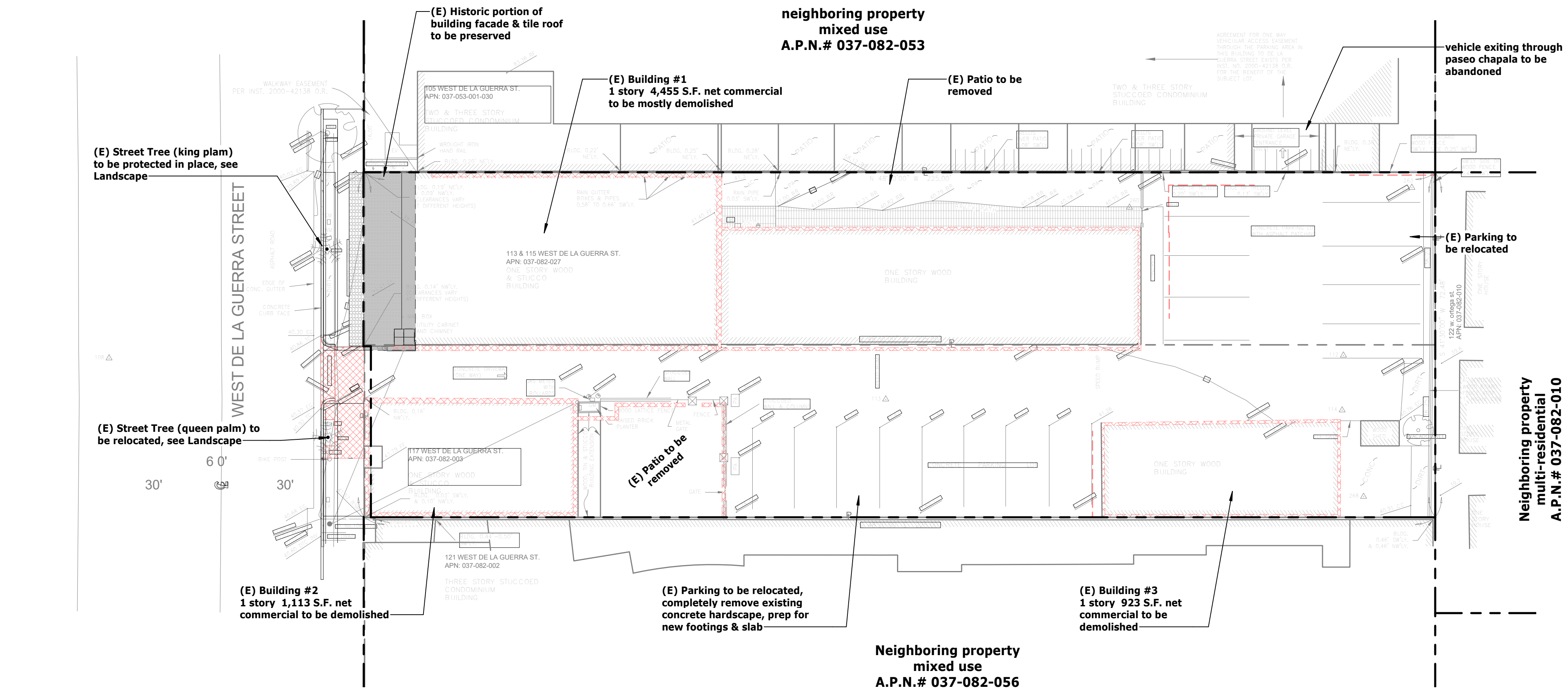
DATE JULY 12, 2019

CAD FILE C-3.0 ESC.dwg

JOB NUMBER 0636-01-INI-B

SHEET

C-3.0



De La Guerra Mixed Use Project

113-117 West De La Guerra St.
Santa Barbara, CA 93101

PROJECT #: 15C116

NO.	DESCRIPTION	DATE
1	PRT Design Review	12/17/2015
2	HLC Concept Review	11/09/2016
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4	HLC Concept Review	11/01/2017
5	Dev. App. Submittal	07/22/2019
6	HLC Conceptual Review	07/23/2019
7	HLC Submittal	01/16/2020

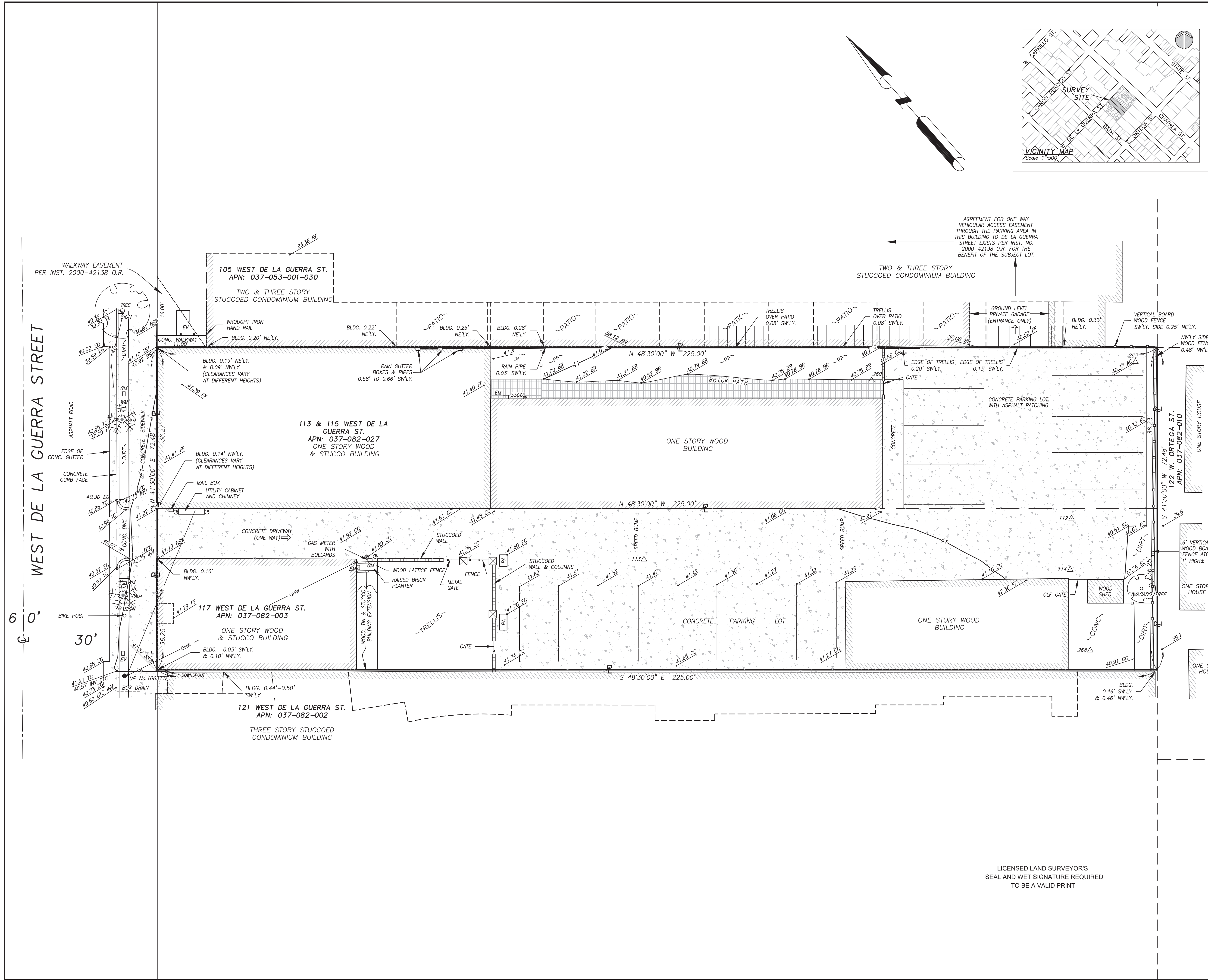
AS101

EXISTING/DEMO &
PROPOSED SITE PLANS

SCALE = 1/16" = 1'-0"

0 16 32 64

NOT FOR CONSTRUCTION



- NOTES:**
1. L.P. COOK & COMPANY, INC. HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE OR ANY OTHER FACTS, WHICH AN ACCURATE AND CURRENT "ABSTRACT OF TITLE" OR "TITLE POLICY" MAY DISCLOSE.
 2. REGARDING THE USE OF PRINTS OF THIS MAP: NORMAL PRINTING METHODS AND/OR HUMIDITY VARIATIONS WILL USUALLY ALTER THE EXACT SCALE OF ANY MAP SOMEWHAT. BEFORE USING PRINTS OF THIS MAP FOR ANY PURPOSE IN WHICH SCALE IS IMPORTANT, VERIFY THE SCALE FIRST.
 3. BENCH MARK: ELEVATION WAS BASED A PICKED ELEVATION SHOWN ON THE CITY OF SANTA BARBARA TOPOGRAPHICAL MAP, APPROXIMATE DATUM: NAVD 1988 DATUM. ALL USERS MUST VERIFY AT LEAST TWO SEPARATE ELEVATIONS SHOWN HERE ON WITH PROJECT BENCH MARK, NOTED ABOVE, BEFORE PROCEEDING WITH CONSTRUCTION AND/OR LAYOUT WORK.
 4. SUBSTRUCTURE UTILITIES ARE NOT SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PROTECT SUCH UTILITIES IN PLACE BY CALLING DIGALERT AT 811 48 HOURS MINIMUM IN ADVANCE OF EXCAVATING.
 5. THIS MAP MAY BE PROVIDED IN AN ELECTRONIC FORMAT (ON COMPUTER DISK) AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT DELIVERED WITH THIS ELECTRONIC FILE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO, FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. THE L.P. COOK & CO., INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY THE L.P. COOK & CO., INC.
 6. TREES TYPICALLY ARE NOT PLUMB.
 7. SEE BOOK 1049-24 O.R. FOR DRIVEWAY CUT ETC.
 8. THIS SITE IS IN THE PROJECT AREA OF THE REDEVELOPMENT AGENCY "CENTRAL CITY REDEVELOPMENT PROJECT", SEE INSTRUMENT NO. 48982 RECORDED DECEMBER 14, 1972 IN BOOK 2435-331 O.R.

LEGEND:

SYMBOLS LEGEND:

- #..... SURVEY CONTROL POINT (WITH NUMBER & ELEVATION)
- FOUND SURVEY MONUMENT
- SET SURVEY MONUMENT
- UTILITY METER (AS NOTED)
- SANITARY SEWER CLEANOUT
- UTILITY POLE
- DOWNSPOUT
- BOLLARD
- TREE
- PARCEL LINE SYMBOL
- CENTER LINE SYMBOL

LINE/TYPE LEGEND:

- PARCEL LINE
- BLOCK WALL
- GRADE BREAK
- WROUGHT IRON FENCE
- WOOD FENCE
- CONTOUR (1' INTERVAL)

ABBREVIATION LEGEND:

- BR .. BRICK
- BSW .. BACK OF SIDEWALK
- BW .. BASE OF WALL
- CC .. CONCRETE
- CRW .. CONCRETE RETAINING WALL
- DTC .. DRAIN THROUGH CURB
- EG .. EDGE OF GUTTER
- EM .. ELECTRIC METER
- EP .. EDGE OF PAVEMENT
- EV .. ELECTRICAL VAULT
- FF .. FINISHED FLOOR
- FL .. FLOWLINE
- GM .. GAS METER
- NE'LY .. NORTHEASTERLY
- NW'LY .. NORTHWESTERLY
- RF .. ROOF
- SE'LY .. SOUTHEASTERLY
- SSCO .. SANITARY CLEANOUT
- SW'LY .. SOUTHWESTERLY
- TC .. TOP CURB
- UP .. UTILITY POLE
- PA .. PLANTER
- WM .. WATER METER

HATCHING LEGEND:

- CONCRETE
- BUILDING
- BRICK

L.P. COOK & COMPANY, Inc.

Land Surveying
Mapping & Digital Graphics
831 State Street, Suite 202, Santa Barbara,
CA 93101-3227
(805) 966-5105

BAR SCALE:
10 0 10 20 30
GRAPHIC SCALE - 1 INCH = 10 FEET

BOUNDARY AND TOPOGRAPHICAL SURVEY OF
113-117 DE LA GUERRA ST,
BEING A PORTION OF
CITY BLOCK 194,
APN 037-082-003 & 027
FOR: JOHN DEWILDE

SHEET NO.: 1 OF 1
DRAWN BY: PHD
CHECKED BY: LPC
DATE: 9/29/16
JOB NO.: 2122.00F

DATA COLLECTED: SEPTEMBER, 2016

LICENSED LAND SURVEYOR'S
SEAL AND WET SIGNATURE REQUIRED
TO BE A VALID PRINT



PLANT PALETTE - W. DE LA GUERRA MIXED USE					
Sunset Zone 24 / WUCOLS Region 3					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	O.C. SPACING	WUCOLS
CANOPY TREES					
LAG IND	LAGERSTROEMIA INDICA 'WHIT IV'	RED ROCKET CRAPE MYRTLE	36" BOX	STD.	L
SPA CAM	SPATHODEA CAMPANULATA	AFRICAN TULIP TREE	36" BOX	STD.	M
ACCENT TREES					
ARC CUN	ARCHONTOPHOENIX CUNNINGHAMIANA	KING PALM	75% 8' B.T. 25% 10' B.T.	SINGLE OR DOUBLE	M
BRU CAN	BRUGMANSIA X CANDIDA 'DOUBLE WHITE'	DOUBLE WHITE ANGEL'S TRUMPET TREE	24" BOX	STD.	M
CIT SPP	CITRUS SPP.	DWARF CITRUS	24" BOX	STD.	M
ERI DEF	ERIOBOTRYA DEFLEXA 'COPPERTONE'	COPPERTONE LOQUAT	24" BOX	STD.	L
HOW FOR	HOWEA FORSTERIANA	KENTIA PALM	75% 8' B.T. 25% 10' B.T.	SINGLE OR DOUBLE	M
SCH PUE	SCHEFFLERA PUECKLERI	SCHEFFLERA	24" BOX	STD	L
LARGE SHRUBS					
CAN BLA	CANNA 'BLACK KNIGHT'	NCN	15 GAL	3'-0" O.C.	M
LAU NOB	LAURUS NOBILIS 'SARATOGA'	SARATOGA BAY LAUREL	15 GAL	5'-0" O.C.	L
OLE EUR	OLEA EUROPAEA 'MONTRA'	LITTLE OLLIE DWARF OLIVE	5 GAL	3'-0" O.C.	L
PHI SEL	PHILODENDRON SELLOUM	TREE PHILODENDRON	15 GAL	4'-0" O.C.	L
PIT CRA	PITTOSPORIUM CRASSIFOLIUM	KARO	5 GAL	3'-0" O.C.	L
MEDIUM SHRUBS					
AGA ATT	AGAVE ATTENUATA	FOXTAIL AGAVE	5 GAL.	30" O.C.	L
AGA MAT	AGAVE MATEO	MATEO'S AGAVE	5 GAL.	30" O.C.	L
AGA NOV	AGAVE ATTENUATA 'BLUE FLAME'	BLUE FOXTAIL AGAVE	5 GAL.	30" O.C.	L
ANI BUS	ANIGOZANTHOS 'BUSH RANGER'	RED KANGAROO PAW	5 GAL.	2'-0" O.C.	L
ANI SUN	ANIGOZANTHOS 'BUSH SUNSET'	RED KANGAROO PAW	5 GAL.	18" O.C.	L
DIA CAE	DIANELLA CAERULEA 'CASSA BLUE'	BLUE FLAX LILY	1 GAL.	18" O.C.	L
PIT NAN	PITTOSPORIUM 'NANA'	DWARF KARO	5 GAL.	3'-0" O.C.	L
POL MUN	POLYSTICHUM MUNIUM	AUTUMN FERN	5 GAL.	24" O.C.	L
WES FRU	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	5 GAL.	3'-0" OC	L
SMALL SHRUBS & ACCENT PLANTINGS					
AEO ALI	AEONIUM 'ALICE KECK PARK'	NCN	5 GAL.	2'-0" O.C.	L
AEO MIN	AEONIUM 'MINT SAUCER'	SAUCER AEONIUM	1 GAL.	18" O.C.	L
ECH IMB	ECHVERIA X IMBRICATA	HEN & CHICKS	1 GAL.	12" O.C.	L
PHI XAN	PHILODENDRON 'XANADU'	WINTERBOURNE PHILODENDRON	5 GAL.	3'-0" O.C.	M
SAN ALI	SANSEVIERIA 'ALICE'	NCN	5 GAL.	12" O.C.	L
GROUND COVER					
SEN CYL	SENECIO CYLINDRICUS	NARROW-LEAF CHALKSTICKS	1 GAL.	2'-0" O.C.	L
SEN MAN	SENECIO MANDRALISCAE	KLEINIA	1 GAL.	2'-0" O.C.	L
TRA JAS	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GAL.	2'-0" O.C.	L
VINES & ESPALIERS					
BEA GRA	BEAUMONTIA GRANDIFLORA	EASTER LILY VINE	15 GAL.	TRAIN ON WALL	M
CIT SPP.	CITRUS ESPALIERS	LEMON	15 GAL.	TRAIN ON WALL	M
DIS BUC	DISTICTIS BUCCINATORIA	BLOOD RED TRUMPET VINE	15 GAL.	TRAIN ON WALL	M
PAR HEN	PARTHENOCISSUS HENRYANA	SILVERVEIN CREEPER	15 GAL.	TRAIN ON WALL	M
RHO CAP	RHOICISSUS CAPENSIS	EVERGREEN GRAPE	15 GAL.	TRAIN ON WALL	M
WIS SIN	WISTERIA SINENSIS 'ALBA'	WHITE CHINESE WISTERIA	15 GAL.	TRAIN ON WALL	L
NOTE: * - Native Plant L.B. - Low Branch Std. - Standard W.U.C.O.I.L.S. - Water Use Classification of Landscape Species. Jan. 2014. This is a guide to identifying irrigation water needs of landscape species and is intended for reference only. All trees are to be selected and tagged by the Landscape Architect. Contractor shall notify Landscape Architect a minimum four (4) weeks in advance of planting time. Above-grade utilities shall be screened to the maximum extent feasible. Plants listed as "alert status" by the California Invasive Plant Council (CAL-IPC 2006) shall not be used for landscaping.					

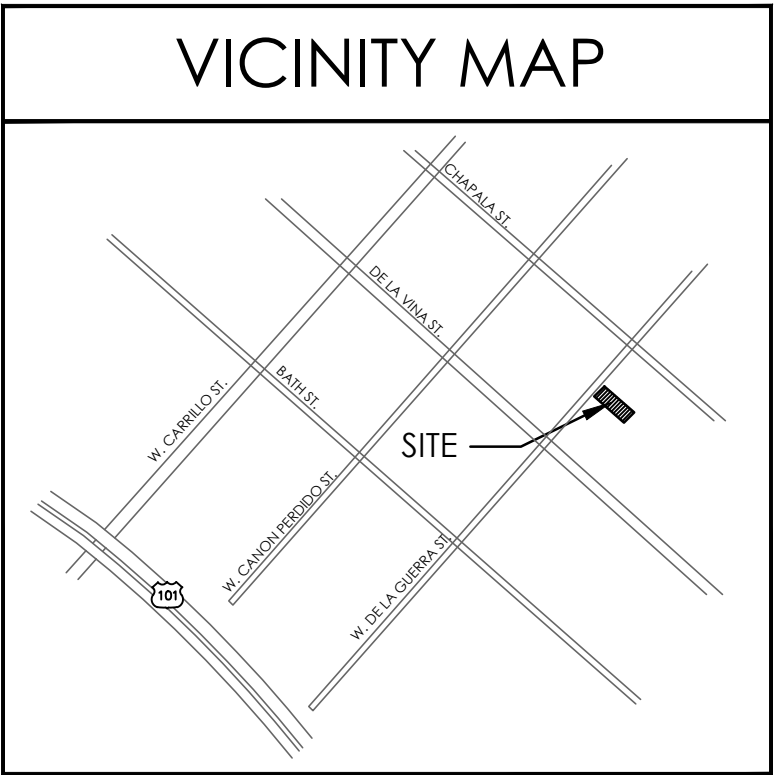
PRELIMINARY PLAN - PLANTING AND DESIGN

CJM::LA STRIVES TO UPHOLD THE ARCHITECTURAL AND CULTURAL HERITAGE OF THE SANTA BARBARA COMMUNITY THROUGH THE DEVELOPMENT OF ENGAGING SPACES. THE BUILT ENVIRONMENT IS PARAMOUNT IN REPRESENTING THE IDENTITY OF A COMMUNITY, AND WE SEEK TO PROVIDE RESPONSIBLE DESIGN THAT RESPECTS THE BALANCE OF PAST AND FUTURE. WE PRIDE OURSELVES IN DESIGN THAT IS UNIQUE AND SPECIFIC; ENDURING AND AUTHENTIC.

THIS PLAN ENGAGES BOTH SUSTAINABLE BUILDING PRACTICES AS WELL AS AESTHETIC AND FORWARD-THINKING DESIGN SOLUTIONS TO CREATE A UNIQUE ADDITION TO THE BUILT ENVIRONMENT.
- STORMWATER QUALITY WILL BE ADDRESSED WITH THE MOST APPROPRIATE BEST MANAGEMENT PRACTICES FOR THIS DEVELOPMENT.
- GREEN SCREENS WILL BE INCLUDED WHERE FEASIBLE.

THE PLANT PALETTE WILL BE NATIVE AND MEDITERRANEAN IN CHARACTER AND SUITABLE TO THE SANTA BARBARA REGIONAL CLIMATE. PLANT MATERIAL WILL BE LOW MAINTENANCE AND 100% WATER-WISE, IN ACCORDANCE WITH DROUGHT RESTRICTIONS. ONLY ORGANIC FERTILIZERS AND SOIL AMENDMENTS WILL BE USED.

COMMON AREA IRRIGATION WILL INCLUDE DRIP SYSTEMS AS APPLICABLE AND IN ACCORDANCE WITH DROUGHT RESTRICTIONS. ALL IRRIGATION WILL BE CONTROLLED BY AN AUTOMATIC TIMER WITH A SEASONAL ADJUSTMENT CAPACITY TO APPLY LESS WATER DURING THE RAINY SEASON. POTS WILL BE HAND-WATERED OR WILL INCLUDE SELF-WATERING SYSTEMS.



CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SAID MATERIALS SHALL NOT BE USED BY CLIENT OR TRANSFERRED TO ANY OTHER PARTY FOR USE IN OTHER PROJECTS. ADDITIONS TO THE CURRENT PROJECT OR ANY OTHER PURPOSE FROM WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY AND HOLD LANDSCAPE ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEYS' FEES ARISING OUT OF THE UNAUTHORIZED MODIFICATION OR USE OF THESE MATERIALS.

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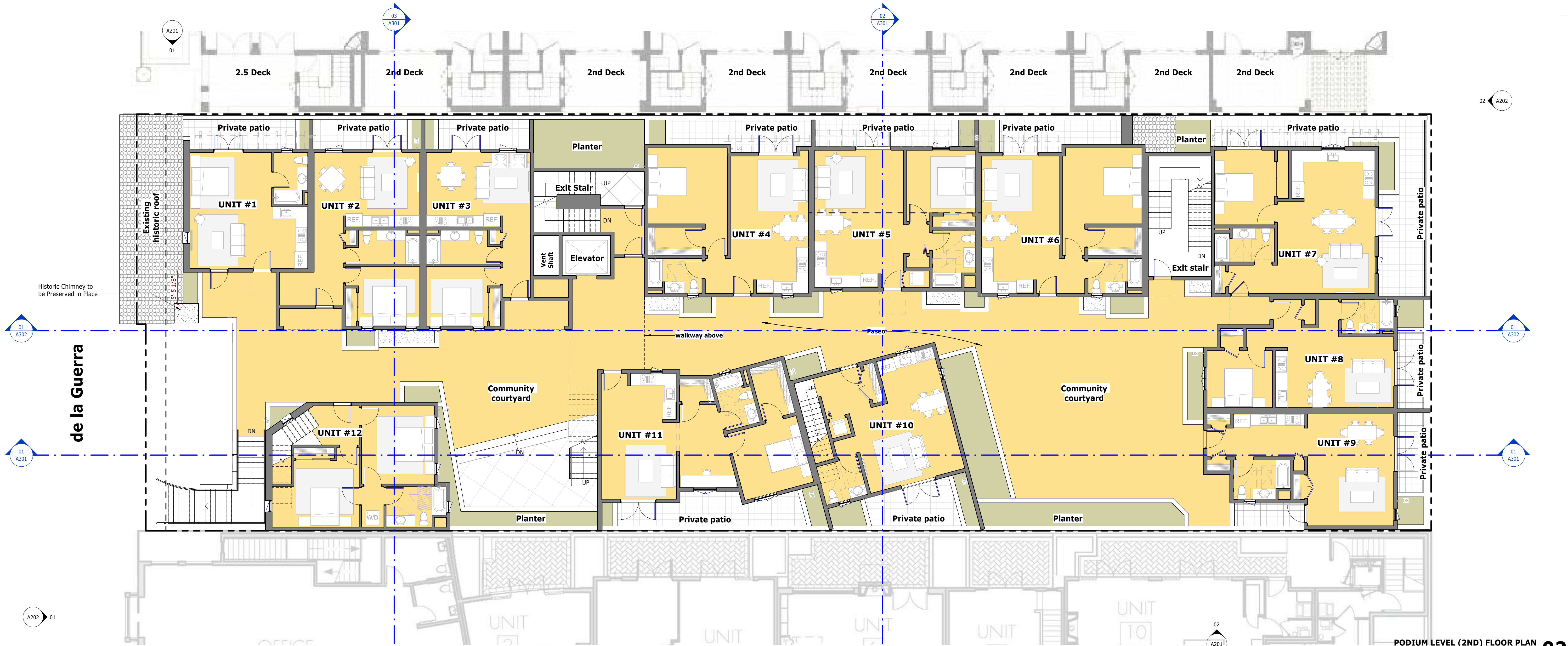
PRELIMINARY LANDSCAPE PLAN

W. DLG MIXED USE
113-117 W. De La Guerra
Santa Barbara, CA 93101

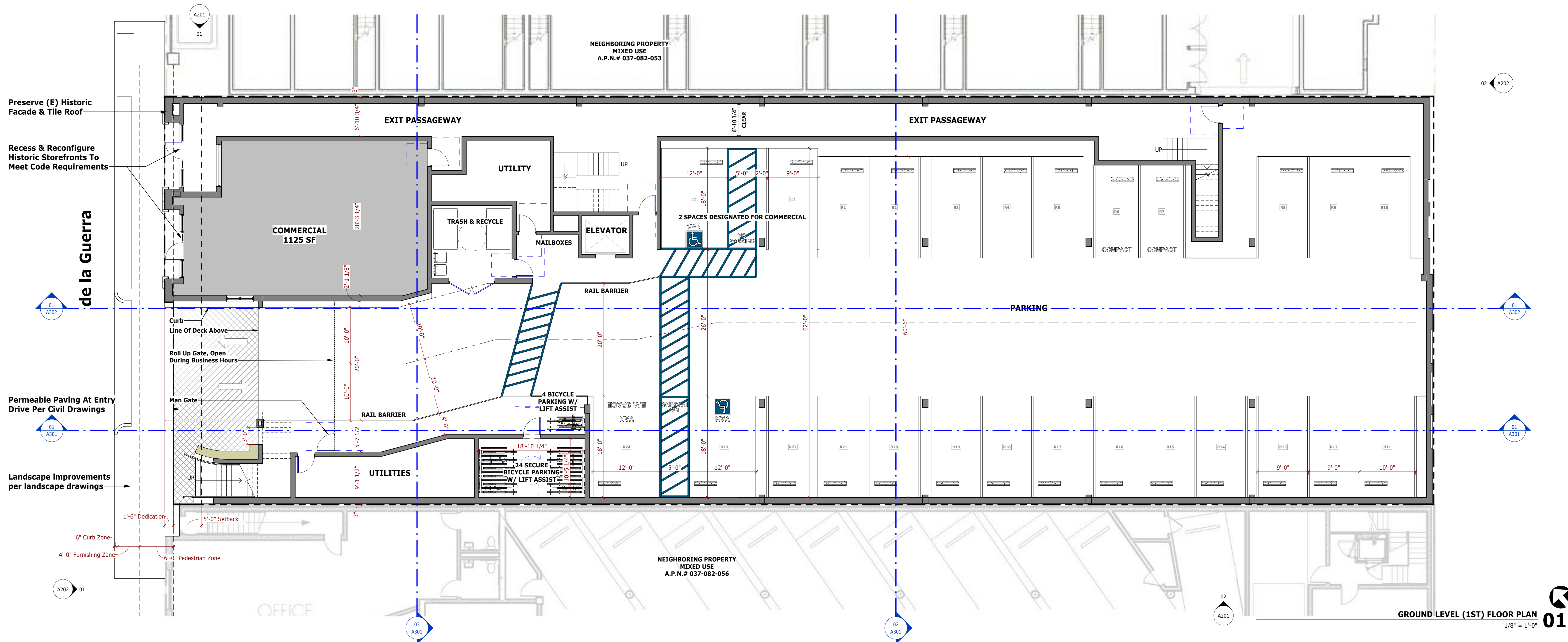


REVISIONS	
05/16/17 HLC	
08/25/17 HLC	
07/19/19 DRAFT	

PROJECT NUMBER	
1612	
DRAWN BY	
KK	
DATE DRAWN	
09/15/15	
SCALE	
1" = 10'	
PRINT DATE	
7/19/19	



02



01

De La Guerra Mixed Use Project

113-117 West De La Guerra St.
Santa Barbara, CA 93101

PROJECT #: 15C116

NO.	DESCRIPTION	DATE
1	PRT Design Review	12/17/2015
2	HLC Concept Review	11/09/2016
3	HLC Concept Review	03/03/2017
4	HLC Concept Review	11/01/2017
5	Dev. App. Submittal	07/22/2019
6	HLC Conceptual Review	07/23/2019
7	HLC Submittal	01/16/2020

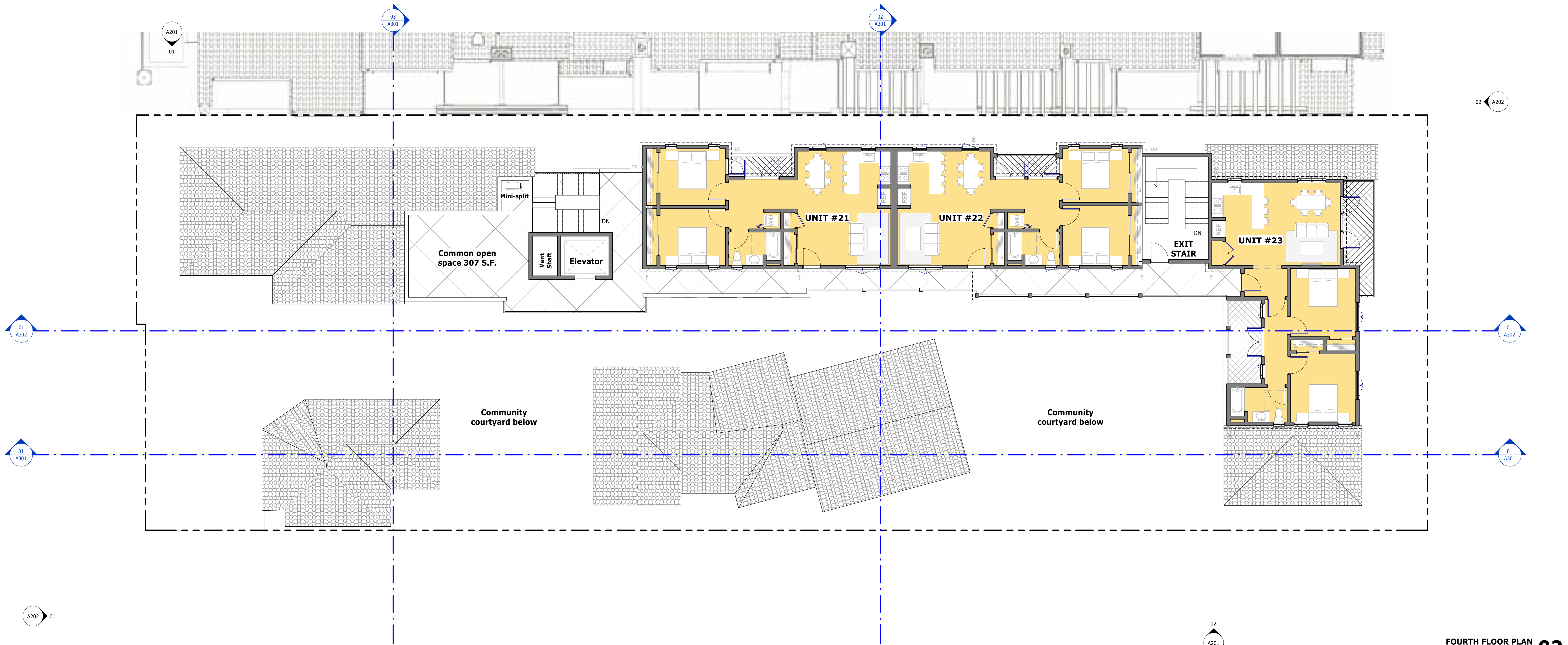
A101

GROUND & PODIUM LEVEL
FLOOR PLANS

SCALE = 1/8" = 1'-0"

0 8 16 32

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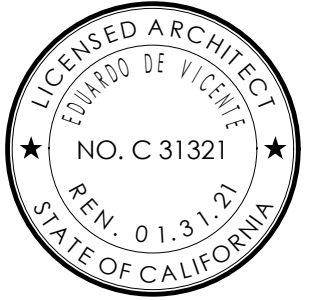
FOURTH FLOOR PLAN
1/8" = 1'-0" **02**



THIRD FLOOR PLAN
1/8" = 1'-0" **01**



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De La Guerra Mixed Use Project

113-117 West De La Guerra St.
Santa Barbara, CA 93101

PROJECT #: 15C116

NO.	DESCRIPTION	DATE
PRT	Design Review	12/17/2015
HLC	Concept Review	11/09/2016
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HLC	Concept Review	11/01/2017
Dev. App.	Submittal	07/22/2019
HLC	Conceptual Review	07/31/2019
HLC	Submittal	01/02/2020

A102

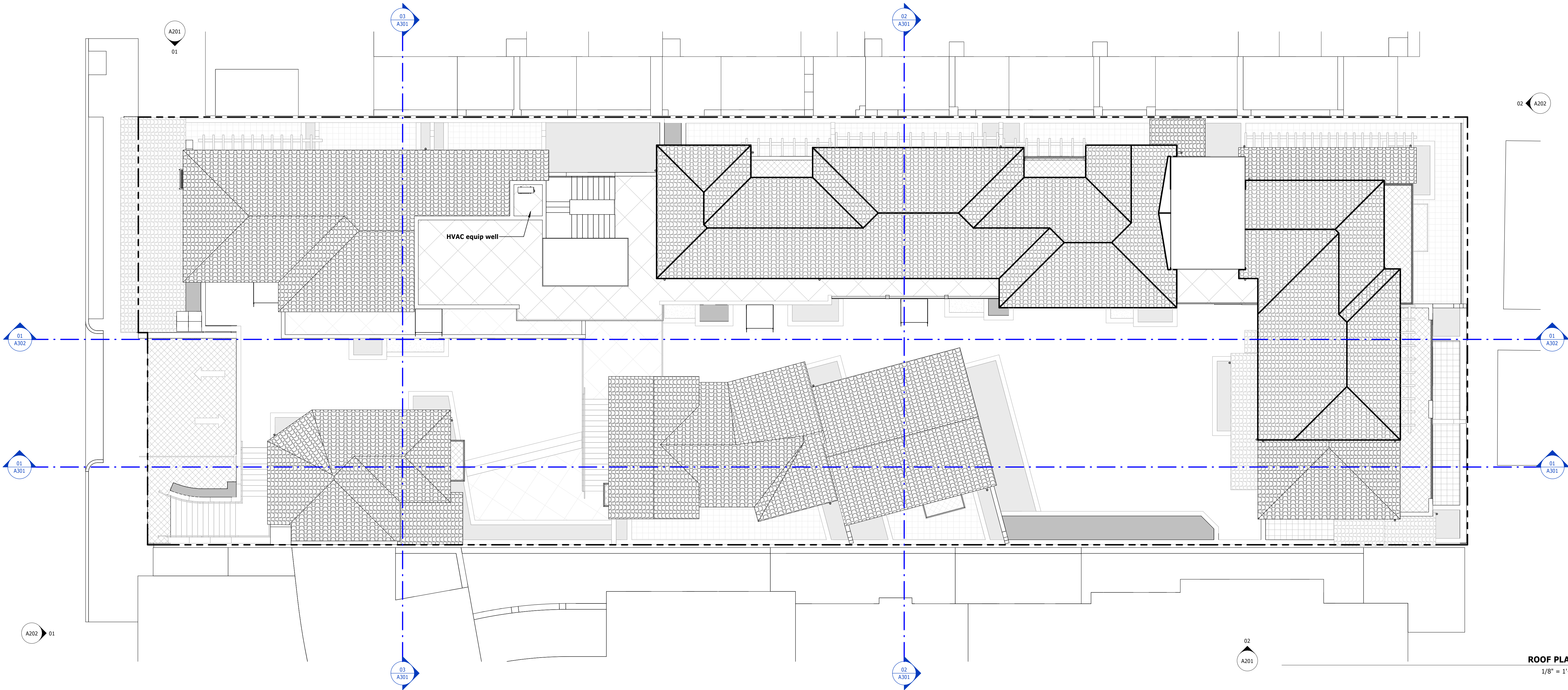
THIRD AND FOURTH FLOOR PLANS

SCALE = 1/8" = 1'-0"



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ROOF PLAN
1/8" = 1'-0"

01

De La Guerra Mixed Use Project

113-117 West De La Guerra St.
Santa Barbara, CA 93101

PROJECT #: 15C116

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6	HLC Conceptual Review	07/31/2019
7	HLC Submittal	01/16/2020

A103
ROOF PLAN
SCALE = 1/8" = 1'-0"

0 8 16 32

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LICENSED ARCHITECT
STATE OF CALIFORNIA
NO. C 31321
EXP. 01/31/21

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WEST ELEVATION 02
1/8" = 1'-0"



EAST ELEVATION 01
1/8" = 1'-0"

De La Guerra Mixed Use Project

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Santa Barbara, CA 93101

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A201

EXTERIOR ELEVATIONS

SCALE = 1/8" = 1'-0"

0	8	16	32
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SOUTH ELEVATION
1/8" = 1'-0" **02**



NORTH ELEVATION
1/8" = 1'-0" **01**



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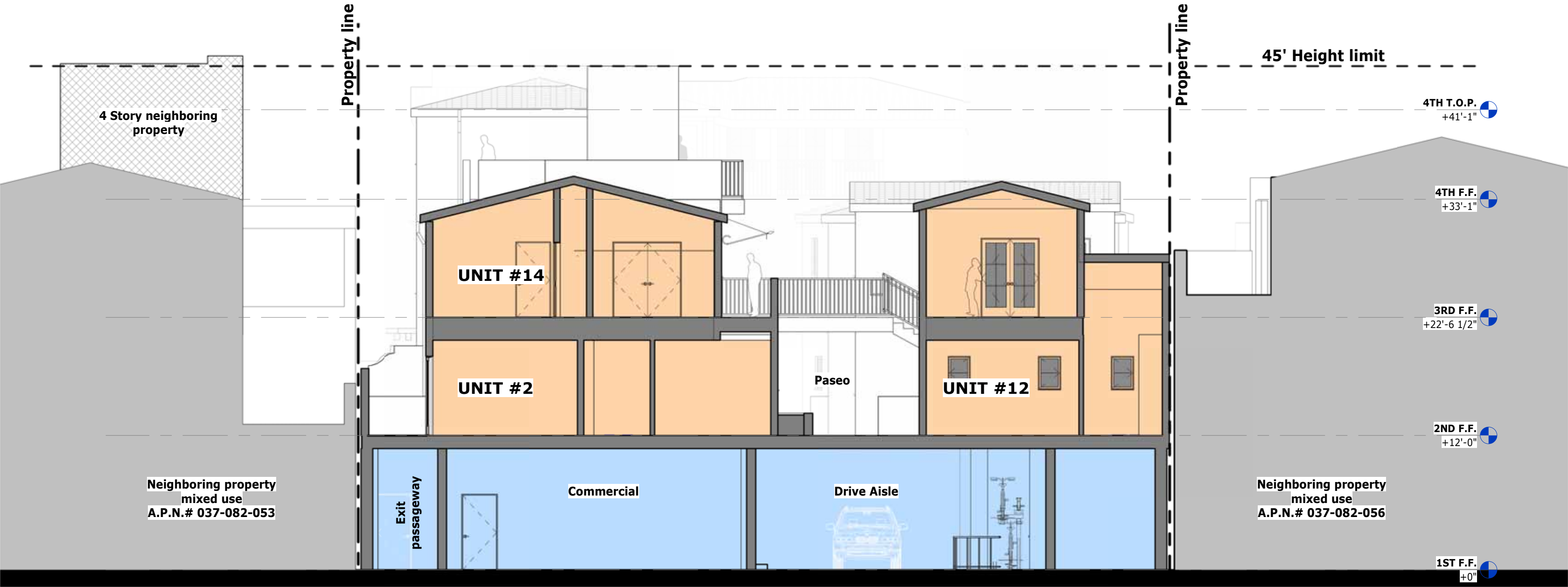
De La Guerra Mixed Use Project

113-117 West De La Guerra St.
Santa Barbara, CA 93101

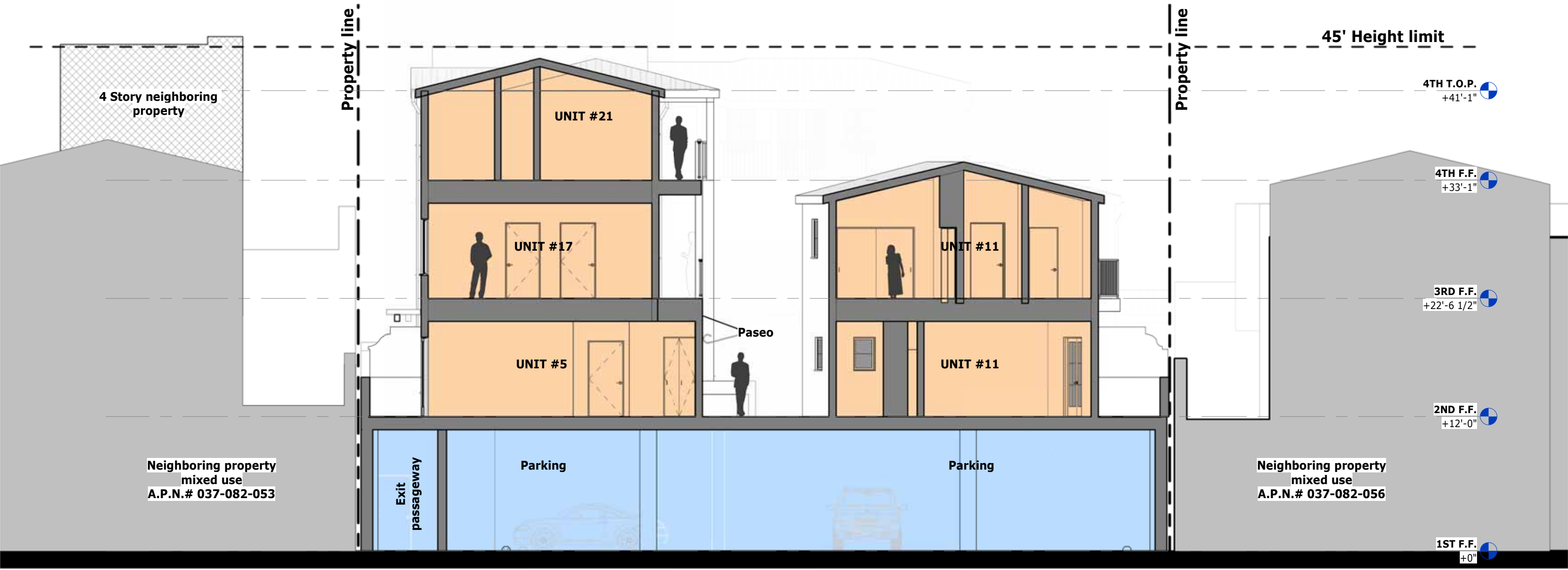
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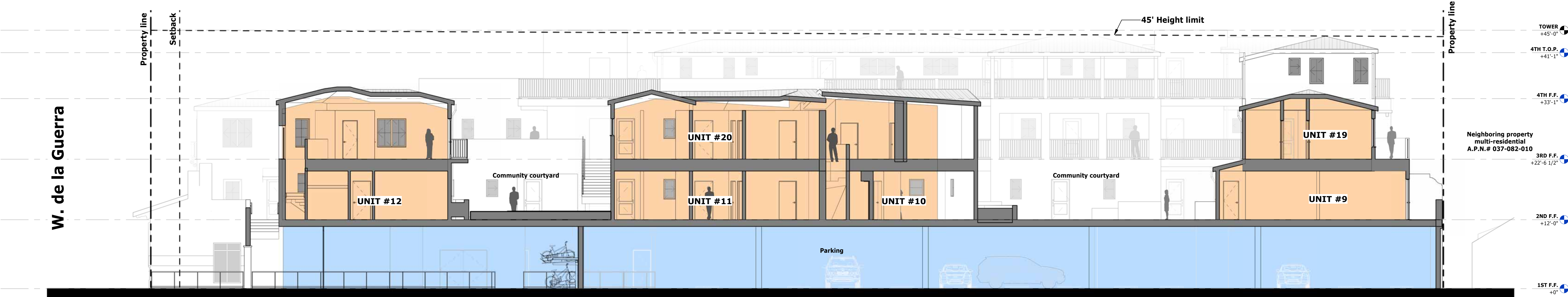
A202
EXTERIOR ELEVATIONS



EAST / WEST SECTION 03
1/8" = 1'-0"



EAST / WEST SECTION 02
1/8" = 1'-0"



NORTH / SOUTH SECTION 01
1/8" = 1'-0"

De La Guerra Mixed Use Project

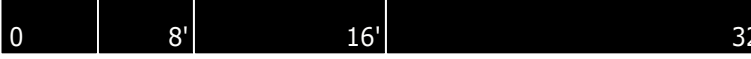
113-117 West De La Guerra St.
Santa Barbara, CA 93101

PROJECT #: 15C116

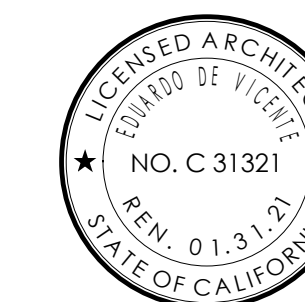
NO.	DESCRIPTION	DATE
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HLC	Submittal	01/02/2020

A301
BUILDING SECTIONS

SCALE = 1/8" = 1'-0"



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113-117 West De La Guerra St.
Santa Barbara, CA 93101

NO.	DESCRIPTION	DATE
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A302

BUILDING SECTIONS

SCALE = 1/8"=1'-0"

0 8' 16' 32'

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W. de la Guerra

Property line

Setback

—45' Height limit

—

TOWER

+45°-0"

4TH T.O.P.

4TH F.F.

 $+33^3 - 1^3$

3RD F.F.

 $+22^{\circ}-6\frac{1}{2}''$

2ND F.F.

 $+12^{\circ}-0^{\circ}$

1ST F.F.

 $+0^{\circ}$

NORTH / SOUTH SECTION **01**
1/8" = 1'-0"

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FRONT COURTYARD
PERSPECTIVE



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De La Guerra Mixed Use Project

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PROJECT #: 15C116

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7	HLC Submittal	01/02/2020

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RENDERED IMAGES

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REAR COURTYARD
PERSPECTIVE



PASEO
PERSPECTIVE



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PROJECT #: 15C116

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A802

RENDERED IMAGES